## SHEET LIST


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Vantage Homes

M: 0432 405 908
E: INFO.VANTAGEHOMES@GMAIL.COM


CLIENT: LALEE HOMES

ADDRESS: LOT 209 DP DRAFT
ROAD 19, THE RANGES
GLEDSWOOD HILLS, 2557

| REV: | DATE: | DWN: | DESCRIPTION: |
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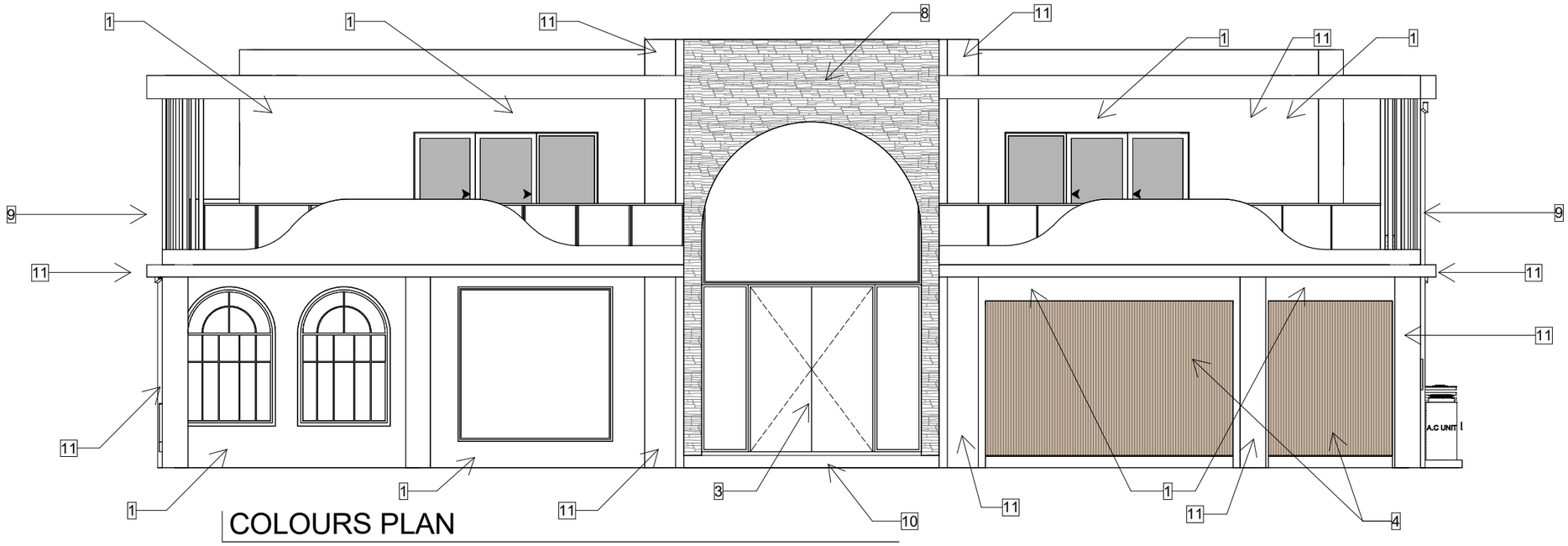
SHEET NAME:
COVER SHEET

SHEET NO: 00

JOB NO: 209-RD19

SCALE:



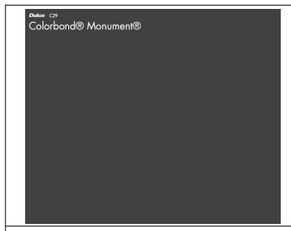

# COLOURS PLAN

1. WALLS
DULUX WHITSUNDAY ISLAND
9/SW1G4
RENDERED PAINTED FINISH

2. ROOF
COLORBOND DOVER WHITE

3. ENTRY DOOR
GLAZED DOUBLE DOOR
DULUX COLORBOND MONUMENT
MATT FINISH

4. GARAGE DOOR
ALUMINUM TIMBER-LOOK CLADDING
DECOWOOD URBAN - WHITE ASH




5. WINDOW FRAMES
DULUX COLORBOND MONUMENT
MATT FINISH

6. FASCIA, GUTTER & DP
DULUX ECRU
A189/S15D1

7. POOL SURROUNDS
CRAZY CLASSIC TRAVERTINE - STONE OASIS
PAVED FLOOR

8. PORCH ARCH
SAHARA STACKSTONE
LOOSE SANDSTONE CLADDING

9. PRIVACY SCREENS
ALUMINUM TIMBER-LOOK CLADDING
DECOWOOD URBAN - WHITE ASH

10. PORCH FLOOR
CRAZY CLASSIC TRAVERTINE - STONE OASIS
PAVED FLOOR

11. COLUMNS & BALCONY LIP
DULUX ECRU
A189/S15D1
RENDERED PAINTED FINISH

12. SIDE FENCE
DULUX COLORBOND WOODLAND GREY
C23
1800MM HIGH

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SHEET NAME:
COLOURS PLAN

SHEET NO: 01

JOB NO: 209-RD19

SCALE: 1 : 100

# GENERAL NOTES:

COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS, AND THE DOCUMENTATION OF OTHER CONSULTANTS. NOTIFY ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND/OR OTHER CONSULTANTS DOCUMENTATION PRIOR TO PROCEEDING WITH THE WORKS.

SPECIFICATIONS AND SCHEDULES:
REFER TO AND COORDINATE WITH APPLICABLE SPECIFICATIONS AND SCHEDULES. NOTIFY ANY DISCREPANCIES BETWEEN DOCUMENTS PRIOR TO PROCEEDING WITH THE WORKS.

DETAIL DRAWINGS:
DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER DRAWINGS AT SMALLER SCALES. NOTIFY ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORKS.

EXECUTION OF THE WORKS:
EXECUTE THE WORKS IN ACCORDANCE AND COMPLIANCE WITH:
-THE APPROVED DEVELOPMENT APPLICATION AND IN ACCORDANCE WITH THE RELEVANT CONDITIONS OF CONSENT AND OTHER RELEVANT LOCAL AUTHORITY REQUIREMENTS;
-THE REQUIREMENTS SCHEDULES BY A CURRENT BASIX CERTIFICATE CONSISTENT WITH THE WORKS.
-THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA ( AS AMENDED); AND
-CURRENT EDITIONS OF THE RELEVANT AUSTRALIAN AND OTHER APPLICABLE PUBLISHED STANDARDS RELEVANT TO THE EXECUTION OF THE WORKS.

UNITS OF MEASUREMENT:
DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS NOTED OTHERWISE.

MATERIALS HANDLING AND STORAGE:
MATERIAL, FIXTURES AND FITTINGS ARE TO BE HANDLED, STORED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S CURRENT WRITTEN INSTRUCTIONS.

STRUCTURE:
FOUNDATIONS, FOOTINGS, REINFORCED CONCRETE SLABS, RETAINING WALLS, FRAMING, BRACING, TIE-DOWN AND OTHER STRUCTURAL ELEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS.

HYDRAULICS:
STORMWATER DRAINAGE, WASTE WATER DRAINAGE, FRESH WATER, GAS SUPPLY AND OTHER HYDRAULIC SERVICES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AUTHORITY AND HYDRAULIC ENGINEER'S REQUIREMENTS.

SLAB REBATES:
ALL SLAB REBATES TO BE 160mm UNLESS OTHERWISE NOTED.
GARAGE REBATES ARE 280mm WIDE X 15mm RECESS. ALL DIMENSIONS ARE TAKEN FROM EXTERNAL EDGE OF BRICK WALL.

WET AREAS:
FIXTURES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ALL SIZES DEPICTED MAY VARY DEPENDING ON AVAILABILITY AND PRODUCT SELECTION. HEIGHT OF TILES MAY VARY ACCORDING TO SELECTION OF TILES. F.W. LOCATION IS DIAGRAMATIC ONLY AND POSITION MAY VARY. ALL FIXTURES SHOWN ARE BASED ON STANDARD INCLUSIONS. MEASUREMENTS MAY VARY AS PER THE AVAILABILITY AND PRODUCT SELECTION.

MEASUREMENTS:
ALL MEASUREMENTS ARE TAKEN FRAME TO FRAME AND TO FINISH FLOOR LEVEL. NO CONSIDERATION OF FLOOR FINISH HAVE BEEN TAKEN. WHERE NEEDED, MEASUREMENTS MAY NEED TO BE ACCOUNTED FOR FINISH ONTOP OF CURRENT DIMENSION.

CONSULTANTS:
ALL RELEVANT CONSULTANT DRAWINGS TO BE REFFERED BACK TO ORIGINAL DRAWINGS PROVIDED.

DOOR JAMBS:
MINIMUM 105mm BETWEEN DOOR JAMB AND WALL, WHERE MINIMUM DIMENSION CANNOT BE ACHIEVED, DOOR TO BE CENTERED BETWEEN WALLS.

STAIRS:
BALUSTRADES AND HANDRAILS, NEWEL POST, TREADS AND RISERS TO STAIR MANUFACTURER'S SPECIFICATIONS.

ROOF PLANS:
TRADESMAN TO ENSURE THE CORRECT INSTALLATION OF ROOF FLASHING TO JUNCTION OF BRICKWORK AND CLADDING

CUT/ FILL PLAN:
REFER TO ENGINEER'S DETAILS FOR DROP EDGE BEAMS IF APPLICABLE.

BALUSTRADES
ALL BALUSTRADES TO BE 1.1m FROM THE FINISHED FLOOR LEVEL.

SITE PLAN:
BEARINGS AND DISTANCES ARE BY TITLE AND/OR DEED ONLY.

THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYORS ACT 1929. IF ANY CONSTRUCTION IS PLANNED IT WOULD BE ADVISABLE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXCAT LEVEL AT ANY PARTICULAR POINT.

SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.

AUSTRALIAN HEIGHT DATUM WAS ESTABLISH FROM SSM 168755 RL 69.056.

TREE LOCATIONS ARE ACCURATE TO +/- 0.30m.

THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:200M.

SITE SPECIFIC HAZARDS:
OVERHEAD POWERLINES
NO STREET PARKING
LIMITED SPACE FOR MATERIAL STOCK PILE
EXISTING POOL
CLOSE TO SCHOOL
FOOTPATH / PEDESTRIAN TRAFFIC
TRAFFIC CONTROL REQUIRED
EXISTING TREES / OVERHEAD CONSTRUCTION
DROP EDGE BEAM
ELECTRICAL TURRET / INSTALLATION

SITE INDUCTION:
BEFORE ENTERING SITE PLEASE REVIEW. AND MAKE YOURSELF FAMILIAR WITH EMERGENCY CONTACTS. SITE SPECIFIC HAZARDS AND THE SITE SPECIFIC INDUCTION INFORMATION THAT IS LOCATED ON THE SITE INDUCTION SIGN. IF YOU HAVE ANY TROUBLE UNDERSTANDING THIS INSTRUCTION, CONTACT THE SITE SUPERVISOR OR EMERGENCY CONTACT NUMBER LOCATED ON THE SIGN.

ELECTRICAL INSTALLATIONS:
WHERE A DISCREPANCY ARRISES THE ELECTRICAL CONSULTANT'S, LOCAL OR STATUTORY AUTHORITY'S REQUIREMENTS TAKE PRECEDENCE OVER THE FOLLOWING STANDARDS TO THE EXTEN OF THE DISCREPANCY
ELECTRICAL INSTALLATION: TO AS/NZS 3018-2001 (ELECTRICAL INSTALLATION - DOMESTIC INSTALLATIONS).
SMOKE DETECTORS: REFER TO "FIRE SAFETY, SMOKE ALARMS"
SMOKE DETECTION INSTALLATION AND TESTING:
TO AS 1670.1-2004 (FIRE DETECTION, WARNING, CONTROL AND INTERCOM SYSTEMS - SYSTEM DESIGN, INSTALLATION, AND COMMISSIONING - FIRE) IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE TO MAINS POWER.
TEST ELECTRICAL INSTALLATIONS: TO AS/NZS 3017-2007 (ELECTRICAL INSTALLATIONS - TESTING GUIDELINES).
CERTIFY COMPLIANCE WITH AS/NZS 3018-2007.

MECHANICAL INSTALLATIONS:
MECHANICAL VENTILATION: TO AS 1668.2-2012 (THE USE OF VENTILATION AND AIR CONDITIONING IN BUILDINGS - MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR QUALITY) - GRADE 2 AMENITY.

# SPECIFICATION NOTES:

GENERAL SPECIFICATIONS:
EXECUTE THE WORKS IN COMPLIANCE WITH THE RELEVANT DEEMED-TO-SATISFY PROVISIONS OF THE BUILDING CODE OF AUSTRALIA (BCA) (VOLUME 2), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER APPLICABLE PUBLISHED STANDARDS AND THE RELEVANT REQUIREMENTS OF LOCAL AND/OR STATUTORY AUTHORITIES APPLICABLE TO THE EXECUTION OF THE WORKS. THIS SCHEDULE OF CODES AND STANDARDS OUTLINES THE MINIMUM ACCEPTABLE STANDARDS.

TERMITE PROTECTION:
PROVIDE TERMITE PROTECTION: IN ACCORDANCE WITH PART 3.1.3 - TERMITE RISK MANAGEMENT OF THE BCA (VOLUME 2) AND TO AS 3660.1-200 TERMITE MANAGEMENT - NEW BUILDING WORK)
PROVIDE PROFESSIONAL CERTIFICATION OF THE TERMITE PROTECTION MEASURES TO THE PRINCIPAL CERTIFTYING AUTHORITY, CONFIRMING COMPLIANCE WITH THE PROVISIONS OF THE BCA AND AUSTRALIAN STANDARD.

FLASHING AND DAMP - PROOF COURSES:
FLASHING AND DAMP - PROOF COURSES: TO AS/NZS 2904-199S (DAMP PROOF COURSES AND FLASHINGS).

FASTENERS:
STEEL NAILS: HOT-DIP GALVANISED TO AS/NZS 4680-1999 (HOT-DIP GALVANISED (ZINC) COATINGS ON FABRICATED FERROUS ARTICIES). SELF-DRILLING SCREWS: TO AS 3566.1-2002 (SELF-DRILLING SCREWS FOR THE BUILDING AND CONSTRUCTION INDUSTRIES)

METAL FINISHES:
CORROSION PROTECTION: TO BCA VOLUME 2 CLAUSE 3.4.2.2 (ACCEPTABLE CONSTRUCTION-FRAMING-STEEL FRAMING-GENERAL)

## SITE PREPARATION:

DEMOLITION:
DEMOLISH EXISTING STRUCTURES AS SHOWN: TO AS2601-2001 (DEMOLITION OF STRUCTURES).

EARTHWORKS:
TO BE CARRIED OUT IN ACCORDANCE WITH:
THE REQUIREMENTS OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979;
RELEVANT CONDITIONS OF THE DEVELOPMENT CONSENT; AND THE RELEVANT REQUIREMENTS OF PART 3.1.1 OF THE BCA (VOLUME 2).

STORMWATER DRAINAGE:
PART 3.1.2 OF THE BCA (VOLUME 2) AND AS/NZS 3500-2000 (PART 5-DOMESTIC INSTALLATIONS-SECTION 5-STORMWATER DRAINAGE).

STRUCTURAL DESIGN:
FOR DETAILS OF STRUCTURAL FOOTINGS, SLABS, FRAMING AND THE LIKE REFER TO STRUCTURAL ENGINEERING DETAILS, TO BE PREPARED BY A QUALIFIED STRUCTURAL ENGINEER.
STRUCTURAL DESIGN IS TO BE IN ACCORDANCE WITH THE RELEVANT STRUCTURAL DESIGN MANUALS.

DRIVEWAY:
DRIVEWAY TO BE IN ACCORDANCE WITH AS 2890.1.2004

SITE CLASSIFICATION:
TO BE IN ACCORDANCE WITH PART 3.2.4 OF THE BCA (VOLUME 2)

STRUCTURAL DESIGN MANUALS:
AS 1170.1-2002 (DEAD AND LIVE LOADS AND LOAD COMBINATIONS)
AS 1170.2-2002 (AS 4055 (1992) - WIND LOADS)
AS 1170.4- 2007 (EARTHQUAKE LOADS)
AS 1720.1-2010 (TIMBER STRUCTURES CODE)
AS 2159-2009 (PILING-DESIGN AND INSTALLATION)
AS 2327.1-2017 (COMPOSITE STRUCTURES)
AS 3600-2009 (CONCRETE STRUCTURES)
AS 4100-1998 (STEEL STRUCTURES)

STRUCTURAL DESIGN CERTIFICATION:
SUBMIT STRUCTURAL ENGINEER'S DESIGN CERTIFICATION, IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS, THE PRINCIPAL CERTIFYING AUTHORITY PRIOR TO THE COMMENCEMENT OF WORKS.

CONCRETE CONSTRUCTION:
CONCRETE STRUCTURES GENERALLY: TO AS 3600-2009 (CONCRETE STRUCTURES), GROUND SLABS AND FOOTINGS: TO AS 2870-2011 (RESIDENTIAL SLABS AND FOOTINGS-CONSTRUCTION).
READY MIXED SUPPLY: TO AS 1379-2007 (SPECIFICATION AND SUPPLY OF CRETE).

FOOTINGS AND SLABS:
DESIGN AND CONSTRUCT FOOTINGS AND SLABS:
IN ACCORDANCE WITH PART 3.2 OF THE BCA (VOLUME 2) AND AS 2870-2011 (RESIDENTIAL SLABS AND FOOTINGS), AS 3600-2001 (CONCRETE STRUCTURES) AND AS 2159-2009 (PILING-DESIGN AND INSTALLATION).

BRICK & BLOCK CONSTRUCTION (MASONRY):
MASONRY CONSTRUCTION: TO BE IN ACCORDANCE WITH PART 3.3 OF THE BCA (VOLUME 2) AND TO AS 3700-2011 (MASONRY STRUCTURES).
MASONRY UNITS: TO AS/NZS 4455-1997 (MASONRY UNITS AND SEMENTAL PAVERS). CLAY BRICK DURABILITY BELOW DAMP-PROOF COURSE: USE EXPOSURE CATEGORY TO AS/NZS 4456.10-2003 (MASONRY UNITS AND SEGMENTAL PAVERS - METHODS OF TEST-DETERMINING RESISTANCE TO SALT ATTACK) APPENDIX A (SALT ATTACK RESISTANCE CATEGORIES).

GALVANISING:
GALVANISING MILD STEEL COMPONENTS (INCLUDING FASTENERS) TO AS 1214-1983 OR AS/NZS 4680-2006, AS APPROPRIATE, WHERE EXPOSED TO WEATHER, EMBEDDED IN MASONRY OR IN CONTACT WITH CHEMICALLY TREATED TIMBER.

WALL TIES:
WALL TIE TYPE: TO BCA VOLUME 2 CLAUSE 3.3.3.2 (ACCEPTABLE CONSTRUCTION-MASONRY-MASONRY ACCESSORIES-WALL TIES) AND AS/NZS 2699.1-2000 (BUILT-IN COMPONENTS FOR MASONRY CONSTRUCTION-WALL TIES); NON-SEISMIC AREAS: TYPE A; SEISMIC AREAS:TYPE B.
WALL TIE SPACING: TO BCA VOLUME 2 FIGURE 3.3.3.1 (TYPICAL BRICK TIES SPACINGS IN CAVITY AND VENEER CONSTRUCTION).
WALL TIE CORROSION PROTECTION: TO BCA VOLUME 2 TABLE 3.3.3.1 (CORROSION PROTECTION TIES).
LINTELS GENERALL: IN ACCORDANCE WITH PART 3.3.3.4 OF THE BCA (VOLUME 2).

## FIRE SAFETY:

FIRE SEPARATION:
TO BE IN ACCORDANCE WITH PART 3.7.1 OF THE BCA (VOLUME 2).
FIRE SEPARATION-SEPARATING WALL CONSTRUCTION: PART 3.7.1.8 OF THE BCA (VOLUME 2).
FIRE SEPARATION-ROOF LIGHTS: PART 3.7.1.10 OF THE BCA (VOLUME 2).
REFER TO ARCHITECTURAL DETAILS OF FIRE SEPARATION METHODS.

SMOKE ALARMS:
TO BE IN ACCORDANCE WITH PART 3.7.2 OF THE BCA (VOLME 2); AND AS 3786-2014 (SMOKE ALARMS).

LINING:
PLASTERBOARD: TO AS/NZS 2588-1998 (GYPSUM PLASTERBOARD).
PLASTERBOARD INSTALLATION: TO AS/NZS 2589.1-2017 (GYPSUM LININGS IN RESIDENTIAL AND LIGHT COMMERCIAL CONSTRUCTION-APPLICATION AND FINISHING-GYPSUM PLASTERBOARD) LEVEL 4 FINISH.
FIBRE CEMENT: TO AS/NZS 2908.2-2000 (CELLULOSE-CEMENT PRODUCTS-FLAT SHEETS), TYPE B, CATGEORY 2.
FIBROUS PLASTER PRODUCTS: TO AS 2185-1978 (FIBROUS PLASTER PRODUCTS).

## TIMBER & STEEL FRAMED CONSTRUCTION:

SUB-FLOOR VENTILATION:
TO BE IN ACCORDANCE WITH PART 3.4.1 OF THE BCA (VOLUME 2).

TIMBER WALL, FLOOR AND ROOF FRAMING:
TIMBER FRAMING: TO BE IN ACCORDANCE WITH PART 3.4 OF THE BCA (VOLUME 2) AND AS 1684.4-2010 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION-SIMPLIFIED-NON-CYCLONIC) OR AS 1720.1-2010 (TIMBER STRUCTURES-DESIGN METHODS).

STEEL FRAMING AND STRUCTURAL STEEL MEMBERS:
STEEL FRAMING: TO BE IN ACCORDANCE WITH PART 3.4.2 OF THE BCA (VOLUME 2).
ACCEPTABLE CONSTRUCTION PRACTICE (PART 3.4.2.1 OF THE BCA) AND/OR AS 4100-1998 (STEEL STRUCTURES)
COLD-FORMED STEEL FRAMING: PROVIDE A PROPRIETRY SYSTEM DESIGNED TO AS 3623-1993 (DOMESTIC METAL FRAMING).

## ROOF AND WALL CLADDING:

ROOF TILING:
TO BE IN ACCORDANCE WITH PARTS 3.5.1.1 & 3.5.1.2 OF THE BCA (VOLUME 2) AND AS 2049-2002 (ROOF TILES).
ROOF TILE INSTALLATION: TO AS 2050-2002 (INSTALLATION OF ROOFING TILES).

METAL ROOF SHEETING:
TO BE IN ACCORDANCE WITH PARTS 3.5.1.1 & 3.5.1.3 OF THE BCA (VOLUME 2).
METAL ROOFING DESIGN AND INSTALLATION: TO AS 1562.1-1992 (DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING-METAL).

ROOF PLUMBING:
TO BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA (VOLUME 2) AND AS/NZS 3500-2003 (PART 3-STORMWATER DRAINAGE) AND AS/NZS 3500-2000 (PART 5-DOMESTIC INSTALLATION-SECTION 5-STORMWATER DRAINAGE).

WALL CLADDING:
TO BE IN ACCORDANCE WITH PART 3.5.3 OF THE BCA (VOLUME 2).

INSTALLATION AND SARKING:
BULK INSTALLATION: TO AS/NZS 4859.1-2002 (MATERIALS FOR THE THERMAL INSULATION OF BUILDINGS-GENERAL CRITERIA AND TECHNICAL PROVISIONS), SECTION 5.
REFLECTIVE INSULATION: TO AS/NZS 4859.1- 2002, SECTION 9
SARKING MATERIAL: TO AS/NZS 4200.1-1994 (PLIABLE BUILDING MATERIALS AND UNDERLAYS-MATERIAL(S)).

WINDOWS AND DOORS:
GLAZING TO BE IN ACCORDANCE WITH PART 3.6 OF THE BCA (VOLUME 2).
GLASS SELECTION AND INSTALLATIONS: TO AS 1288-2006 (GLASS IN BUILDINGS-SELECTION AND INSTALLATION).
TIMBER DOORSETS: TO AS 2688-1984 (TIMBER DOORS).
TIMBER FRAMES AND JAMB LININGS: TO AS 2689-1984 (TIMBER DOORSETS).
SECURITY SCREEN DOORS AND WINDOW GRILLES: TO AS 5039-2008 (SECURITY SCREEN DOORS AND SECURITY WINDOW GRILLES).
WINDOW SELECTION AND INSTALLATION: TO AS 2047-2014 (WINDOWS IN BUILDINGS-SELECTION AND INSTALLATION).
DOORSET INSTALLATION: TO AS 1909-1984 (INSTALLATION OF TIMBER DOORSETS).
GARAGE DOORS: TO AS/NZS 4505-2012 (DOMESTIC GARAGE DOORS).

## HEALTH AND AMENITY:

WET AREAS:
REFER TO 'WATERPROOFING'.

ROOM HEIGHTS:
TO BE IN ACCORDANCE WITH PART 3.8.2 OF THE BCA (VOLUME 2).

KITCHEN, SANITARY AND WASHING FACILITIES:
TO BE IN ACCORDANCE WITH PART 3.8.3.2 AND 3.8.3.3 OF THE BCA (VOLUME 2).

NATURAL AND ARTIFICIAL LIGHT:
TO BE IN ACCORDANCE WITH PARTS 3.8.4.2 AND 3.8.4.3 OF THE BCA (VOLUME 2).

VENTILATION:
TO BE IN ACCORDANCE WITH PART 3.8.5 OF THE BCA (VOLUME 2).
NATURAL VENTILATION: PARTS 3.8.5.2 AND 3.8.5.3 OF THE BCA (VOLUME 2).
MECHANICAL VENTILATION: PARTS 3.8.5.0 AND 3.8.5.3 OF THE BCA (VOLUME 2).

SOUND INSULATION:
TO BE IN ACCORDANCE WITH PART 3.8.6.1 OF THE BCA (VOLUME 2).

## SAFE MOVEMENT AND ACCESS:

STAIR CONSTRUCTION:
TO BE IN ACCORDANCE WITH PART 3.9.1.1 OF THE BCA (VOLUME 2) - ACCEPTABLE CONSTRUCTION PRACTICE.

BALUSTRADES:
TO BE IN ACCORDANCE WITH PART 3.9.2.1 OF THE BCA (VOLUME 2) - ACCEPTABLE CONSTRUCTION PRATICE.

BLOCK AND TILE FINISHES:
CERAMIC TILING: FOLLOW THE GUIDANCE PROVIDED BY AS 3958.1-2007 (CERAMIC TILES - GUIDE TO THE INSTALLATION OF CERAMIC TILES) AND AS 3958.2-1992 (CERAMIC TILES - GUIDE TO THE SELECTION OF A CERAMIC TILING SYSTEM).
ADHESIVES: TO AS 2358-1992 (ADHESIVES - FOR FIXING CERAMIC TILES).

WATERPROOFING:
TO BE IN ACCORDANCE WITH PART 3.8.1 OF THE BCA (VOLUME 2).
WATERPROOFING: TO AS 3740-2010 (WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS).
REFER TO ARCHITECTURAL DETAILS OF WATERPROOFING.

FLOOR COATINGS AND COVERINGS:
CARPETING: TO AS/NZS 2455.1-2007 (TEXTILE FLOOR COVERINGS - INSTALLATION PRACTICE - GENERAL).
RESILLENT FINISHES: TO AS 1884-2012 (FLOOR COVERINGS - RESILIENT SHEET AND TILES - LAYING AND MAINTENANCE PRACTICES).

PAINTING:
PAINTING GENERALLY: FOLLOW THE GUIDANCE PROVIDED BY AS/NZS 2311-2017 (GUIDE TO THE PAINTING OF BUILDINGS) AND AS/NZS 2312-2002 (GUIDE TO THE PROTECTION OF THE STRUCTURAL STEEL AGAINST ATMOSPHERIC CORROSION BY THE USE OF PROTECTIVE COATINGS).

PLUMBING INSTALLATIONS:
WHERE A DISCREPANCY ARISES THE HYDRAULIC CONSULTANT'S LOCA OR STATUTORY AUTHORITY'S REQUIREMENTS TAKE PRECENDENCE OVER THE FOLLOWING STANDARDS TO THE EXTENT OF THE DISCREPANCY.
PLUMBING AND DRAINING PRODUCTS: TO SAA MPS2-2001 (MANUAL OF AUTHORIZATION PROCEDURES FOR PLUMBING AND DRAINAGE PRODUCTS) AND AS/NZS 3718-2005 (WATER SUPPLY - TAP WARE).
STORMWATER: TO AS/NZS 3500.3-2003 (PLUMBING AND DRAINAGE - STORMWATER DRAINAGE) OR AS/NZS 3500.5-2012 (NATIONAL PLUMBING AND DRAINAGE - DOMESTIC INSTALLATIONS).
WASTEWATER: TO AS/NZS 3500.2-2015 (PLUMBING AND DRAINAGE - WASTE SERVICES) AND AS/NZS 3500.4-2015 (PLUMBING AND DRAINAGE - HEATED WATER SERVICES) OR AS/NZS 3500.5-2012
GAS: TO AS 5601-2013 (GAS INSTALLATION CODE).


Vantage Homes
M: 0432 405 908
E: INFO.VANTAGEHOMES@GMAIL.COM


CLIENT: LALEE HOMES

ADDRESS LOT 209 DP DRAFT
ROAD 19, THE RANGES
GLEDSWOOD HILLS, 2557

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SHEET NAME:
NOTES

SHEET NO: 02

JOB NO: 209-RD19

SCALE:

| CAMDEN COUNCIL | | | |
|---|---|---|---|
| SITE AREA | | **800.1** | SQM |
| PROPOSED ROOF AREA | | 403 | SQM |
| SITE COVERAGE | | | |
| GROUND FLOOR | 385.6 SQM | 48.2 | % |
| MAX. ALLOWED | | **50** | **%** |
| FIRST FLOOR | 255 SQM | 31.8 | % |
| MAX. ALLOWED | | **30** | **%** |
| LANDSCAPED AREA | 250 SQM | 31.2 | % |
| MIN. REQUIRED | | **30** | % |
| AREA FRONT OF BUILDING LINE | | 123 | SQM |
| LANDSCAPED AREA FRONT OF BUILDING LINE | 103 SQM | 84 | % |
| MIN. REQUIRED | | **40** | % |
| PRIVATE OPEN SPACE MIN. DIMENSION OF 3 m. MAX GRADE OF 1:50 | | 24 | SQM |
| MIN. REQUIRED | | **24** | SQM |

SIZE OF POOL EQUIPMENT SLAB TO BE CONFIRMED ON SITE TO SUIT SELECTED EQUOPMENT TO ENGINEERS DETAILS

THE PUMP IS TO BE HOUSED IN AN ENCLOSURE THAT IS SOUNDPROOFED

THIS SURVEY IS BASED OFF A DRAFT DEPOSITED PLAN ONLY AND SUBJECT TO CHANGE.
THIS DRAFT DEPOSITED PLAN:
- IS NOT REGISTERED BY NSW LRS
- IS SUBJECT TO AMENDMENT
- IS ISSUED FOR CONTRACT PURPOSES ONLY AND NOT SUITABLE FOR OTHER PURPOSES
- MAY ALTER EASEMENTS, RESTRICTIONS, POSITIVE COVENANTS, AREAS AND DIMENSIONS ON THE FINAL PLAN

UPON REGISTRATION OF THE FINAL PLAN, WE RECOMMEND AN UPDATE TO REFLECT POTENTIAL CHANGES.

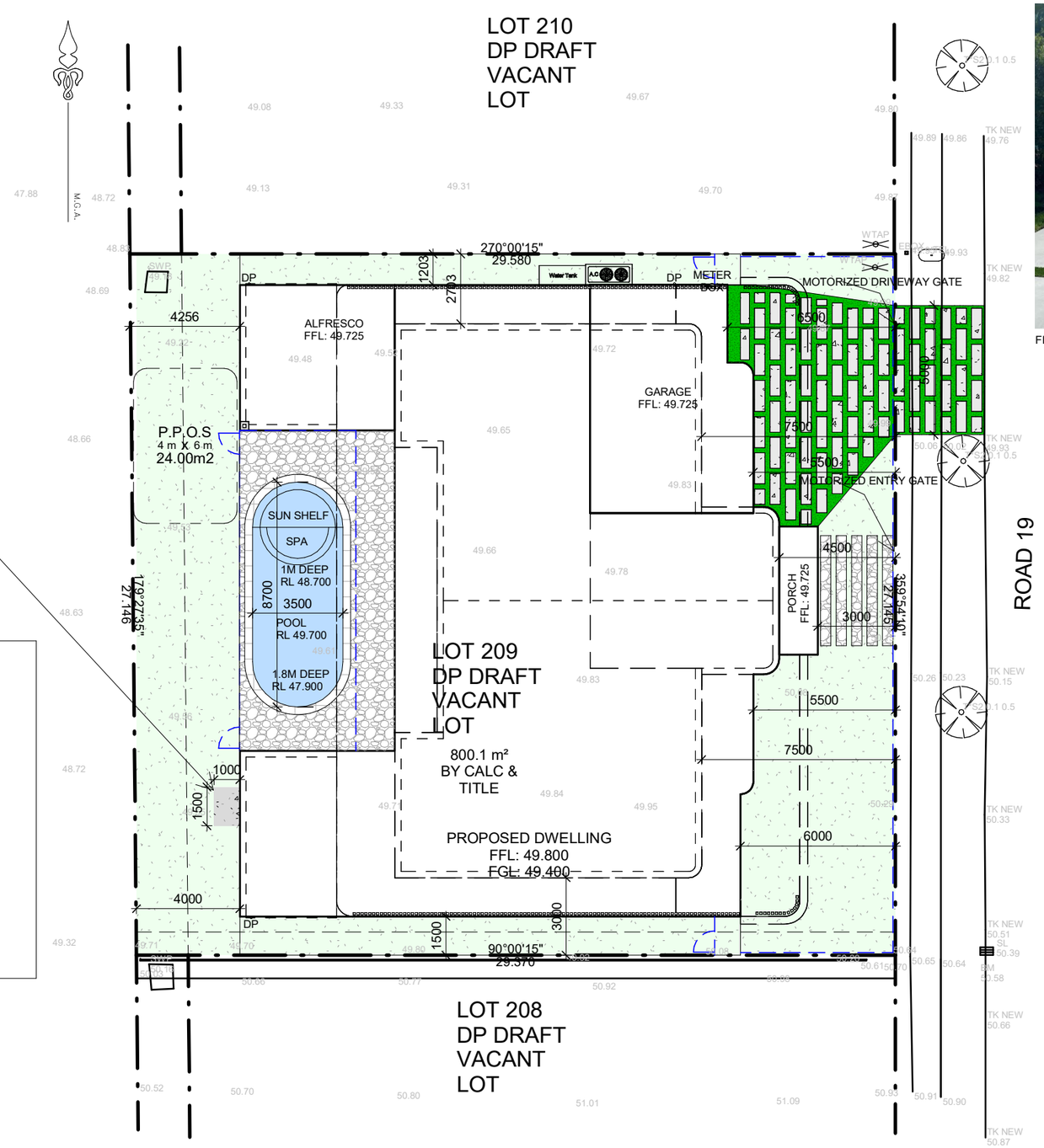
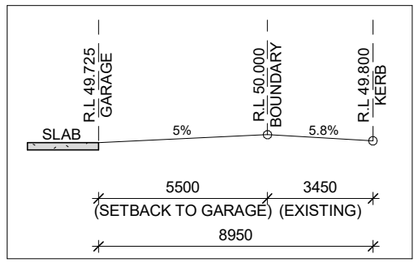


FIG. 1 - DRIVEWAY INSPIRATION.

FIG. 2 - POOL SURROUNDS:
CRAZY CLASSIC TRAVERTINE - STONE OASIS
PAVED FLOOR




DRIVEWAY GRADIENT
SCALE: 1:200

FIG. 3 - FRONT FENCE
1200MM HIGH RETAINING WALL FENCE WITH ELECTRIC VERTICAL POST GATE.
BLACK POST GATE WITH CONCRETE-LOOK FENCE.

DIAL 1100
BEFORE YOU DIG
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SHEET NAME:
SITE PLAN

| SHEET NO: | JOB NO: |
|---|---|
| 03 | 209-RD19 |

SCALE:
1 : 200

## STANDARD CONSTRUCTION NOTES

BUILDING CODE OF AUSTRALIA

### SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH N.C.C. 3.4.1. TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

### WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH;
- AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING
- REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH N.C.C. 3.8.3.3

### ROOF FRAMING

- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S
- SPECIFICATIONS-PITCH AS SHOWN ON ELEVATIONS

### WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH; AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1

### EXHAUST FAN

- EXHAUST SYSTEMS INSTALLED IN THE KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST COMPLY WITH FLOW RATES AS SPECIFIED IN N.C.C. 3.8.7.3.
- BATHROOM, SANITARY COMPARTMENTS & LAUNDRIES MUST BE DISCHARGED DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR OR TO A VENTILATED ROOF SPACE COMPLYING WITH N.C.C. 3.8.7.4

### GLAZING

- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; CODES READ AS HEIGHT BY WIDTH.
- ALL GLAZING TO COMPLY WITH; AS 1288:2006 GLASS IN BUILDINGS AS4055:2012 WIND LOADS FOR HOUSING
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH N.C.C 3.9.2.5

### STEPS, STAIRS & BALUSTRADES

- ALL STEPS & STAIRS TO HAVE; 240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH N.C.C. 3.9.1
- BALUSTRADE IN ACCORDANCE WITH N.C.C. 3.9.2 TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.

### SMOKE ALARM

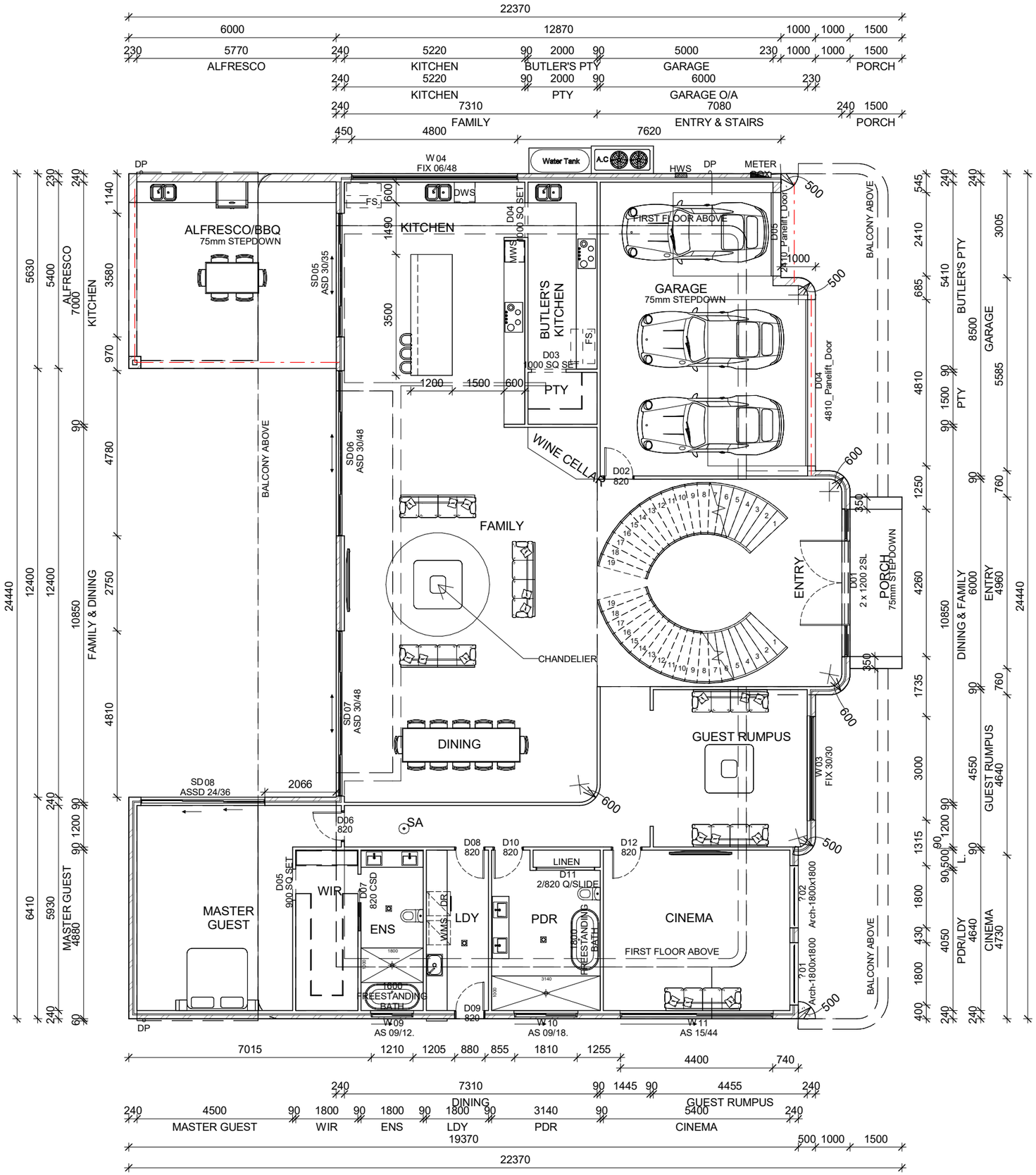
- HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH N.C.C. 3.7.5 & AS 3786

### TERMITE PROTECTION

- PROVITE TERMITE ANAGEMENT SYSTEM AS PER' AS 3660.1:2010 - TERMITE MANAGEMENT.

### PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 - PLUMBING AND DRAINAGE.





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SHEET NAME:
GROUND FLOOR PLAN

| SHEET NO: | JOB NO: |
|---|---|
| 04 | 209-RD19 |

SCALE:
1 : 125

## STANDARD CONSTRUCTION NOTES

BUILDING CODE OF AUSTRALIA

### SLAB AND FOOTINGS

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### ROOF FRAMING

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- SPECIFICATIONS-PITCH AS SHOWN ON ELEVATIONS

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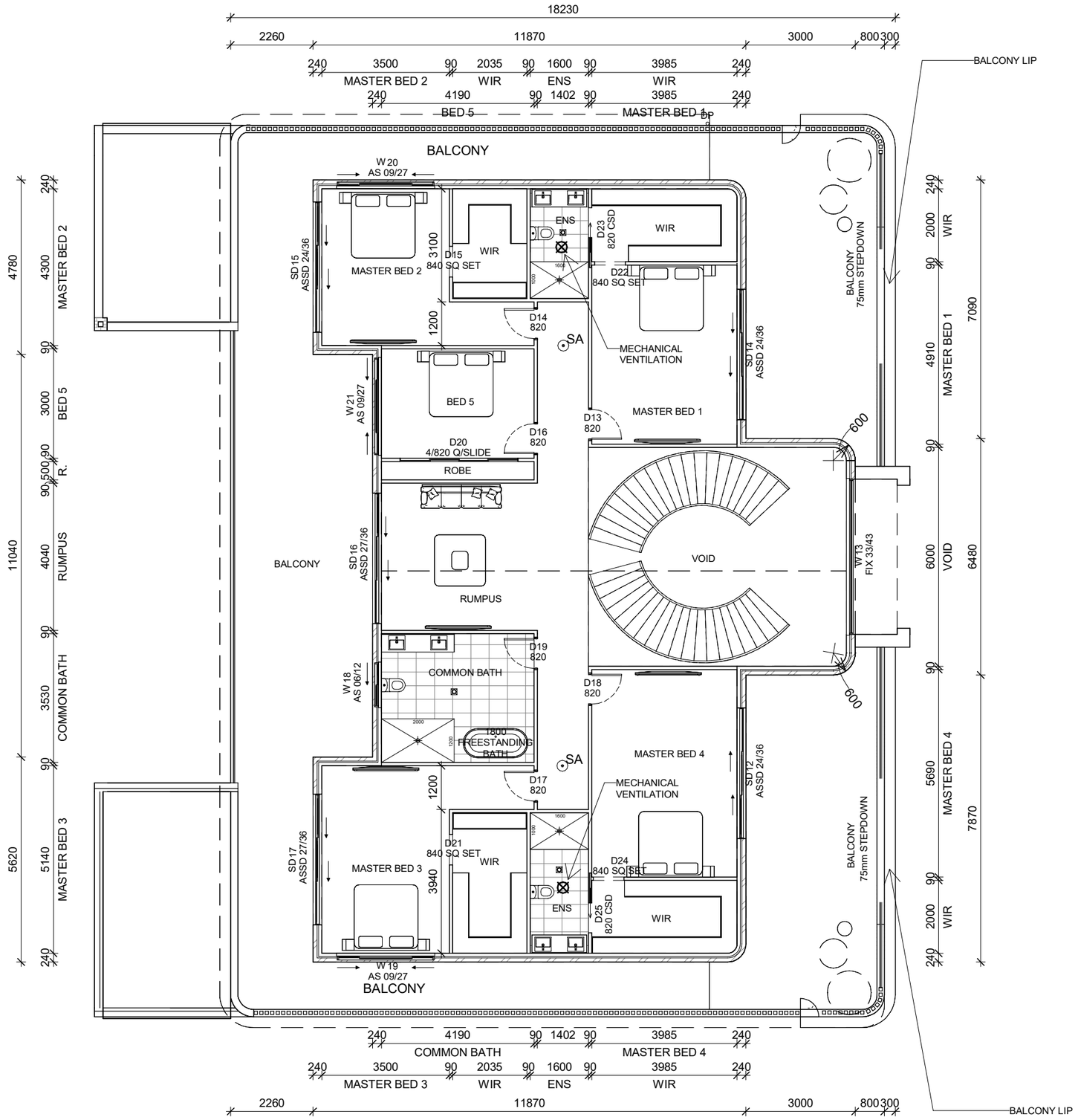


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SHEET NAME:
FIRST FLOOR PLAN

SHEET NO: 05

JOB NO: 209-RD19

SCALE: 1 : 125

NOTES:
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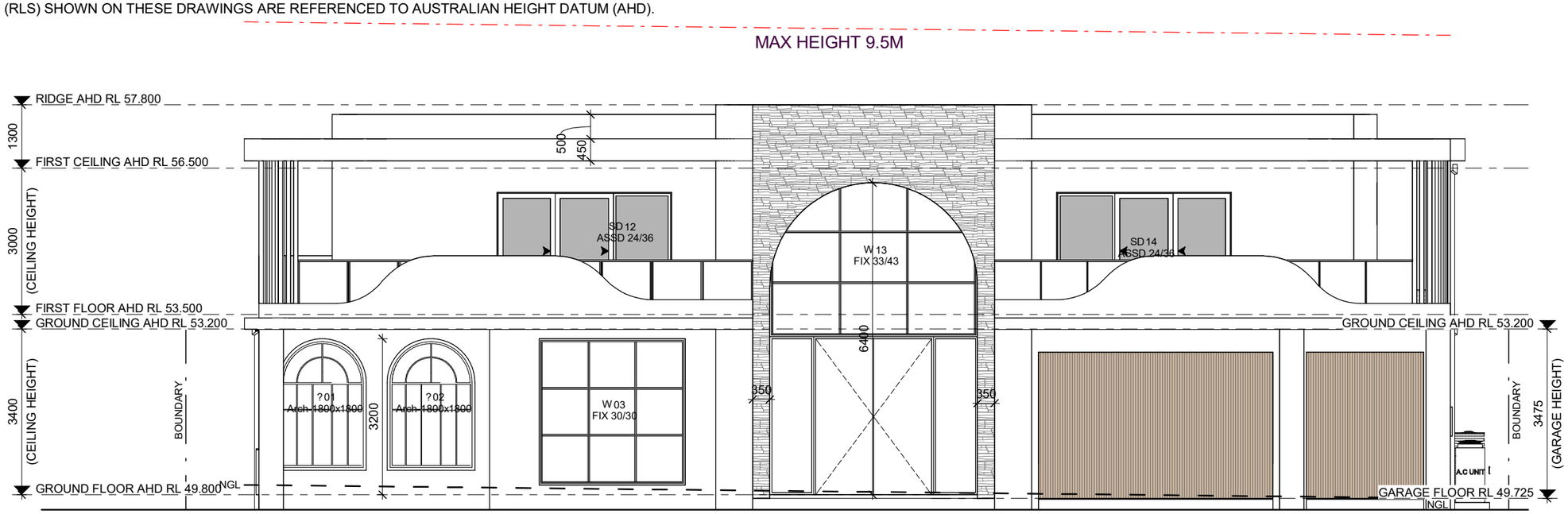
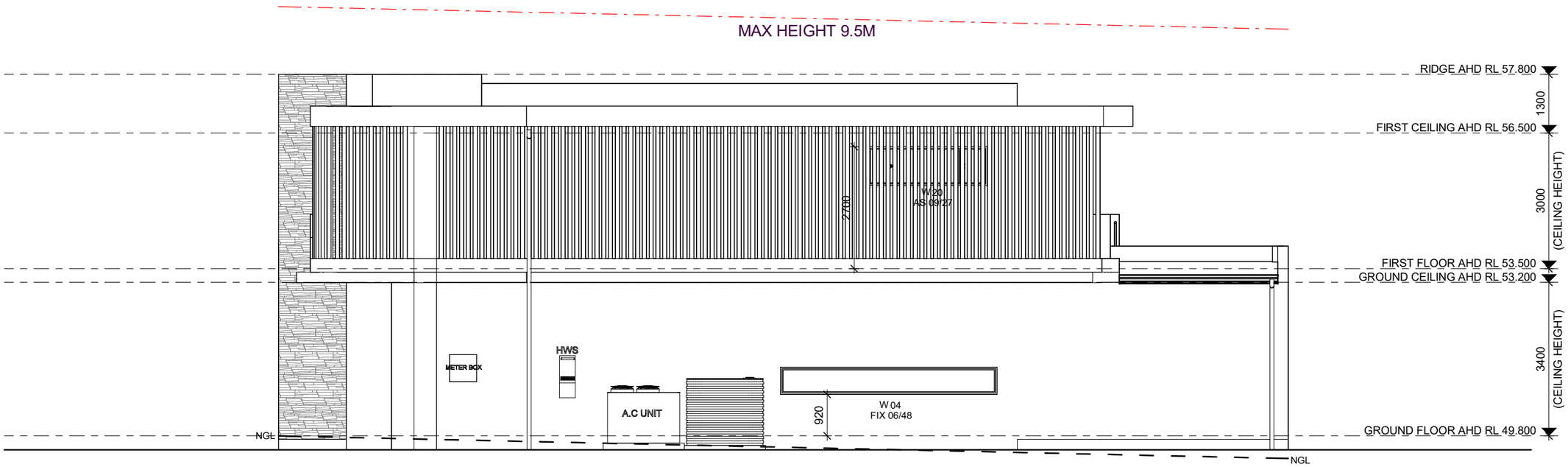



## EAST ELEVATION

1 : 100




## NORTH ELEVATION

1 : 100

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SHEET NAME: ELEVATIONS

SHEET NO: 06

JOB NO: 209-RD19

SCALE: 1 : 100

NOTES:
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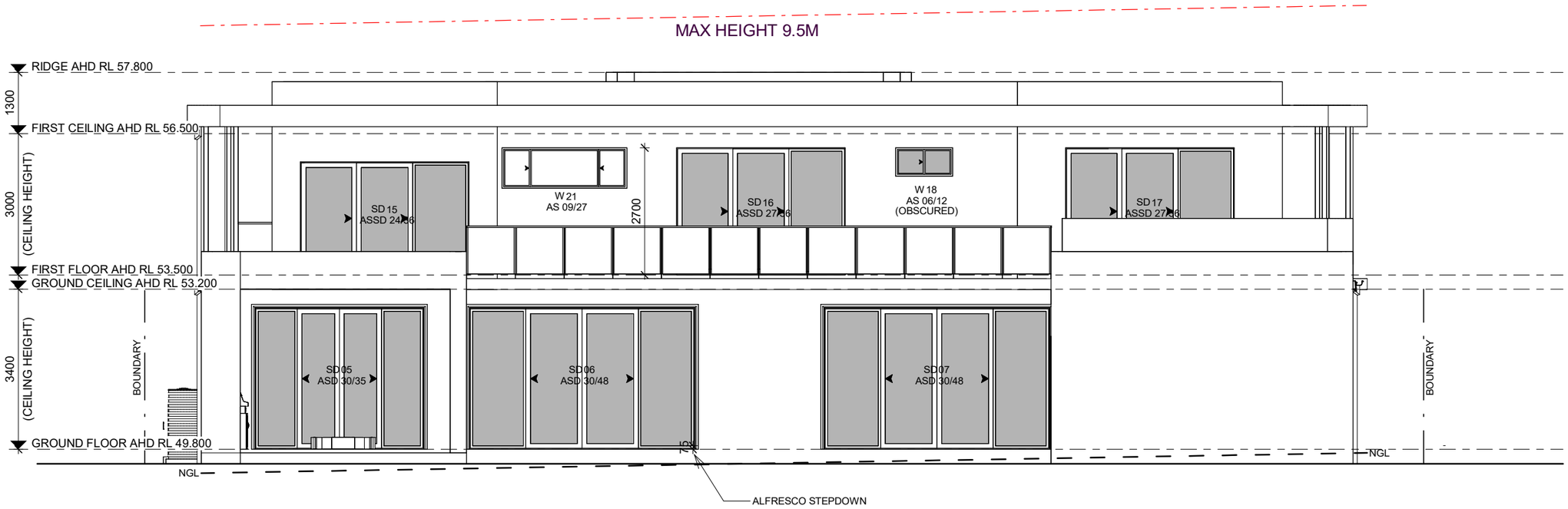
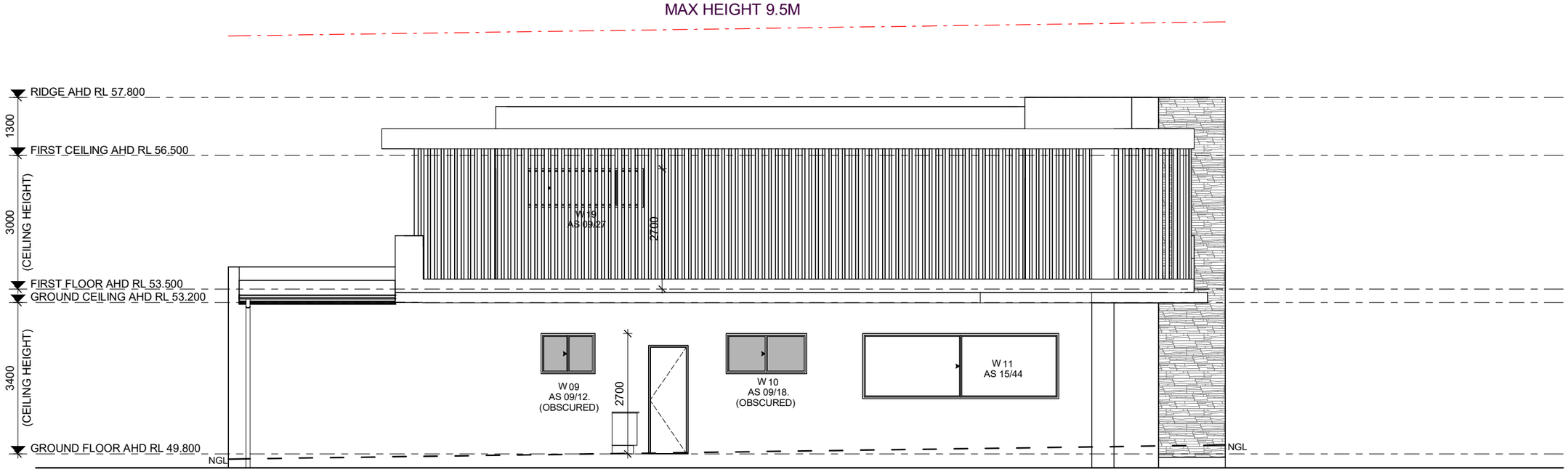



## WEST ELEVATION
1 : 100




## SOUTH ELEVATION
1 : 100

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SHEET NAME: ELEVATIONS

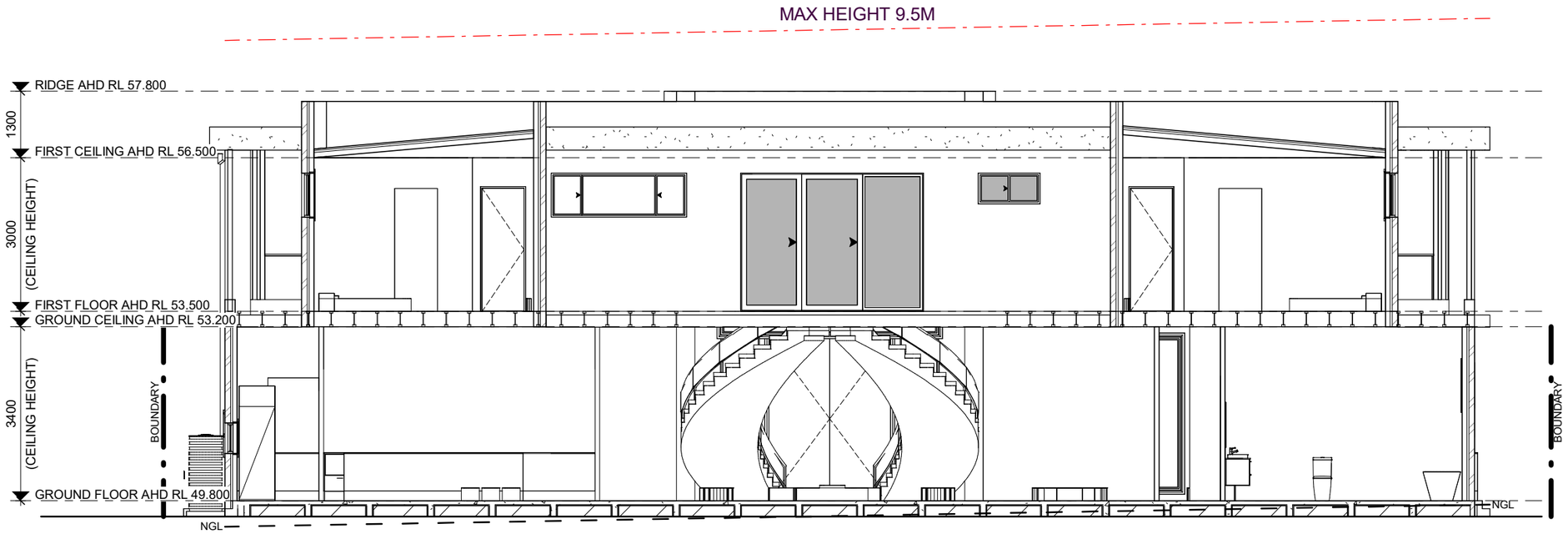
SHEET NO: 07

JOB NO: 209-RD19

SCALE: 1 : 100

## NOTES

- ALL EXTERNAL WALLS ARE TO BE FITTED WITH INSULATION BATTS BY BUILDER IN COMPLIANCE WITH BASIX CERTIFICATE.
- ROOF AREA IS TO BE FITTED WITH INSULATION BATTS BY BUILDER IN COMPLIANCE WITH BASIX CERTIFICATE.
- ALL FOOTINGS ARE TO BE CONSTRUCTED IN ACCORDANCE TO ENGINEER'S DETAILS.





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SHEET NAME:
SECTION

SHEET NO: 08

JOB NO: 209-RD19

SCALE: 1 : 100

## .WINDOW & SLIDING DOOR SCHEDULE

| MARK | TYPE | HEIGHT | WIDTH | WIDTH B | STYLE | OBSCURED GLAZING | AREA |
|---|---|---|---|---|---|---|---|
| 01 | | 1800 | 1800 | | | | 3.24 |
| 02 | | 1800 | 1800 | | | | 3.24 |
| 03 | W | 3000 | 3000 | | FIXED | No | 9 |
| 04 | W | 600 | 4800 | | FIXED | No | 2.88 |
| 05 | SD | 3000 | 3580 | | SLIDING | No | 10.74 |
| 06 | SD | 3000 | 4780 | | SLIDING | No | 14.34 |
| 07 | SD | 3000 | 4780 | | SLIDING | No | 14.34 |
| 08 | SD | 2400 | 3579 | | STACKING | No | 8.5896 |
| 09 | W | 900 | 1210 | | SLIDING | Yes | 1.089 |
| 10 | W | 900 | 1810 | | SLIDING | Yes | 1.629 |
| 11 | W | 1460 | 4400 | | SLIDING | No | 6.424 |
| 12 | SD | 2400 | 3579 | | STACKING | No | 8.5896 |
| 13 | W | 3260 | 4260 | | FIXED | No | 13.8876 |
| 14 | SD | 2400 | 3579 | | STACKING | No | 8.5896 |
| 15 | SD | 2400 | 3579 | | STACKING | No | 8.5896 |
| 16 | SD | 2700 | 3579 | | STACKING | No | 9.6633 |
| 17 | SD | 2700 | 3579 | | STACKING | No | 9.6633 |
| 18 | W | 600 | 1210 | | SLIDING | Yes | 0.726 |
| 19 | W | 860 | 2650 | | SLIDING | No | 2.279 |
| 20 | W | 860 | 2650 | | SLIDING | No | 2.279 |
| 21 | W | 860 | 2650 | | SLIDING | No | 2.279 |

## .DOOR SCHEDULE

| MARK | TYPE | HEIGHT | WIDTH | TO ROOM | FROM ROOM |
|---|---|---|---|---|---|
| 01 | Entry_Double_Door 2SL: 2 x 1200 2SL | 3200 | 1200 | | |
| 02 | Internal_Door: 820 | 2400 | 820 | | |
| 03 | Square_Set: 1000 SQ SET | 2400 | 1000 | PTY | BUTLER'S KITCHEN |
| 04 | Garage_Panelift_Door: 4810_Panelift_Door | 3000 | 4810 | | |
| 04 | Square_Set: 1000 SQ SET | 2400 | 1000 | BUTLER'S KITCHEN | |
| 05 | Garage_Panelift_Door: 2410_Panelift_Door | 3000 | 2410 | | |
| 05 | Square_Set: 900 SQ SET | 2400 | 900 | WIR | MASTER GUEST |
| 06 | Internal_Door: 820 | 2400 | 820 | MASTER GUEST | |
| 07 | Cavitiy_Sliding_Door: 820 CSD | 2400 | 820 | WIR | ENS |
| 08 | Internal_Door: 820 | 2400 | 820 | LDY | |
| 09 | Internal_Door: 820 | 2400 | 820 | LDY | |
| 10 | Internal_Door: 820 | 2400 | 820 | PDR | |
| 11 | Robe Doors_Quickslide_2_door: 2/820 Q/SLIDE | 2400 | 1700 | | PDR |
| 12 | Internal_Door: 820 | 2400 | 820 | CINEMA | |
| 13 | Internal_Door: 820 | 2400 | 820 | | |
| 14 | Internal_Door: 820 | 2400 | 820 | | |
| 15 | Square_Set: 840 SQ SET | 2400 | 840 | | |
| 16 | Internal_Door: 820 | 2400 | 820 | | |
| 17 | Internal_Door: 820 | 2400 | 820 | | |
| 18 | Internal_Door: 820 | 2400 | 820 | | |
| 19 | Internal_Door: 820 | 2400 | 820 | | |
| 20 | Robe Doors_Quickslide_4_door: 4/820 Q/SLIDE | 2040 | 3243 | | |
| 21 | Square_Set: 840 SQ SET | 2400 | 840 | | |
| 22 | Square_Set: 840 SQ SET | 2400 | 840 | | |
| 23 | Cavitiy_Sliding_Door: 820 CSD | 2400 | 820 | | |
| 24 | Square_Set: 840 SQ SET | 2400 | 840 | | |
| 25 | Cavitiy_Sliding_Door: 820 CSD | 2400 | 820 | | |

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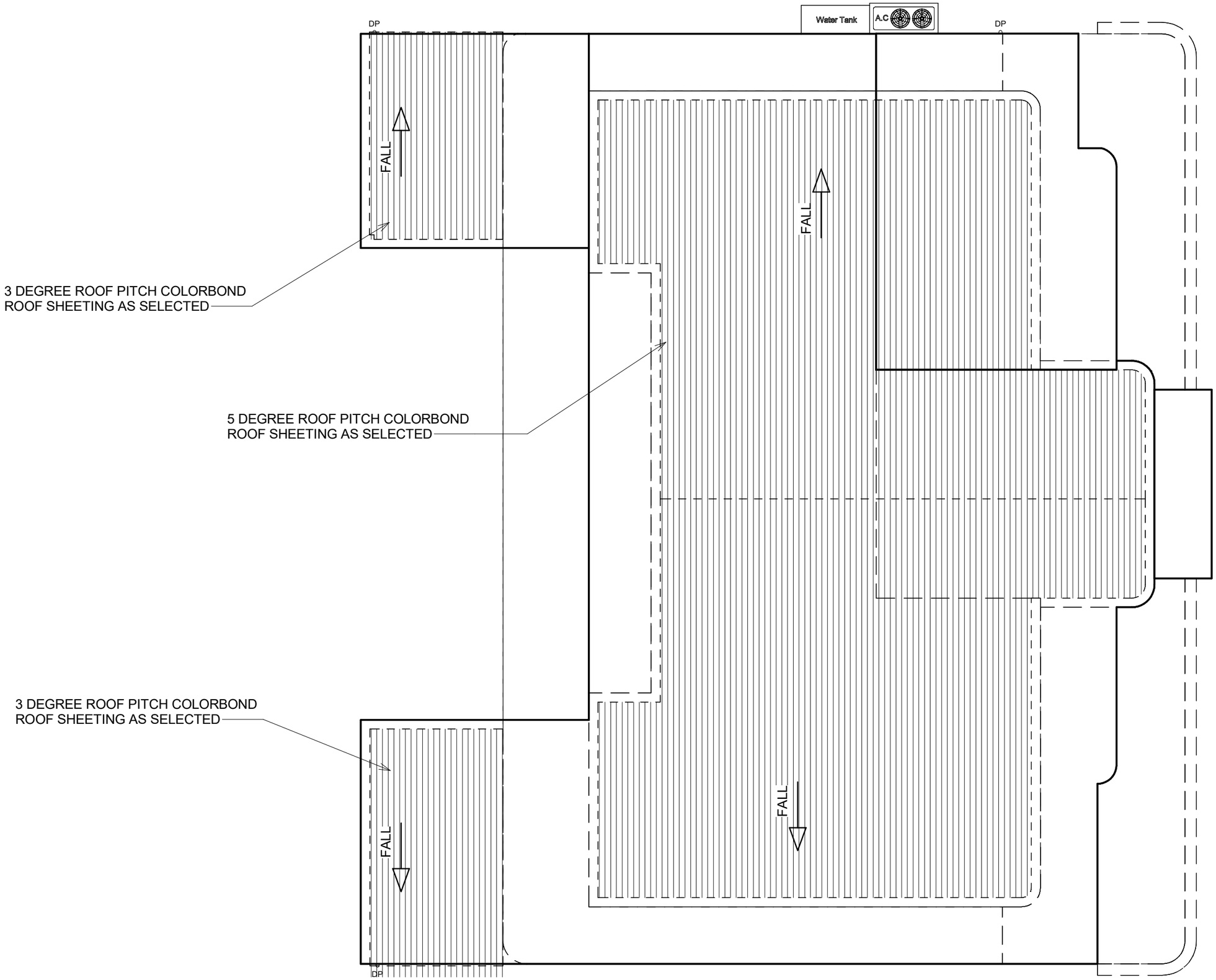
SHEET NAME:
WINDOWS & DOORS SCHEDULES

SHEET NO: 09

JOB NO: 209-RD19

SCALE:




ROOF AREA

279.69 m²

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SHEET NAME:
ROOF PLAN

SHEET NO: 10

JOB NO: 209-RD19

SCALE: 1 : 100

## PLANTING SCHEDULE

| Symbol | ID | Common Name | Botanical Name | Height | Width | Count |
|---|---|---|---|---|---|---|
| **SHRUBS** | | | | | | |
| | AGA | Agave | Agave Attenuata | 1m | 0.6m | 6 |
| | JAB | Japanese Box | Buxus Microphylla | 3m | 1m | 6 |
| | BOP | Bird of Paradise | Strelitzia Reginae | 1.2m | 1m | 0 |
| **GROUND COVERS** | | | | | | |
| | VDA | Varigated Dianella | Silver Streak | 0.3m | 0.5m | 0 |
| | GRO | Glabra Roseworthy | Eremophila Glabra | 0.5m | 1-2m | 0 |
| | NAV | Native Violet | Viola Hederacea | 0.2m | 1m | 0 |
| **GRASSES & ACCENT PLANTS** | | | | | | |
| | TSP | True Sago Palm | Cycas Revoluta | 1-5m | 2-3m | 0 |
| | MAR | Mat Rush | Lomandra longifolia | 1m | 1.5m | 0 |
| | KAN | Kanika | Lomandra 'Tanika' | 0.5m | 0.5m | 0 |
| **MEDIUM TREES** | | | | | | |
| | TAL | Tree Aloe | Aloe Barberae | 6m | 2m | 0 |
| | MAP | Manchurian Pear | Pyrus Ussuriensis | 9m | 7m | 0 |
| | CHI | Chinese Tallowood | Sapium Sebiferum | 8-10m | 4.5m | 0 |
| **SMALL TREES** | | | | | | |
| | COB | Coast Banksia | Banksia Integrifolia | 5-10m | 4m | 2 |
| | FLD | Flowering Dogwood | Cornus Florida | 4m | 3m | 0 |
| | NAF | Native Frangipanni | Hymenosporum | 4-10m | 2.5m | 0 |

Agave *'Agave Attenuata'*

Bird of Paradise *'Strelitzia Reginae'*

Flowering Dogwood *'Cornus Florida'*

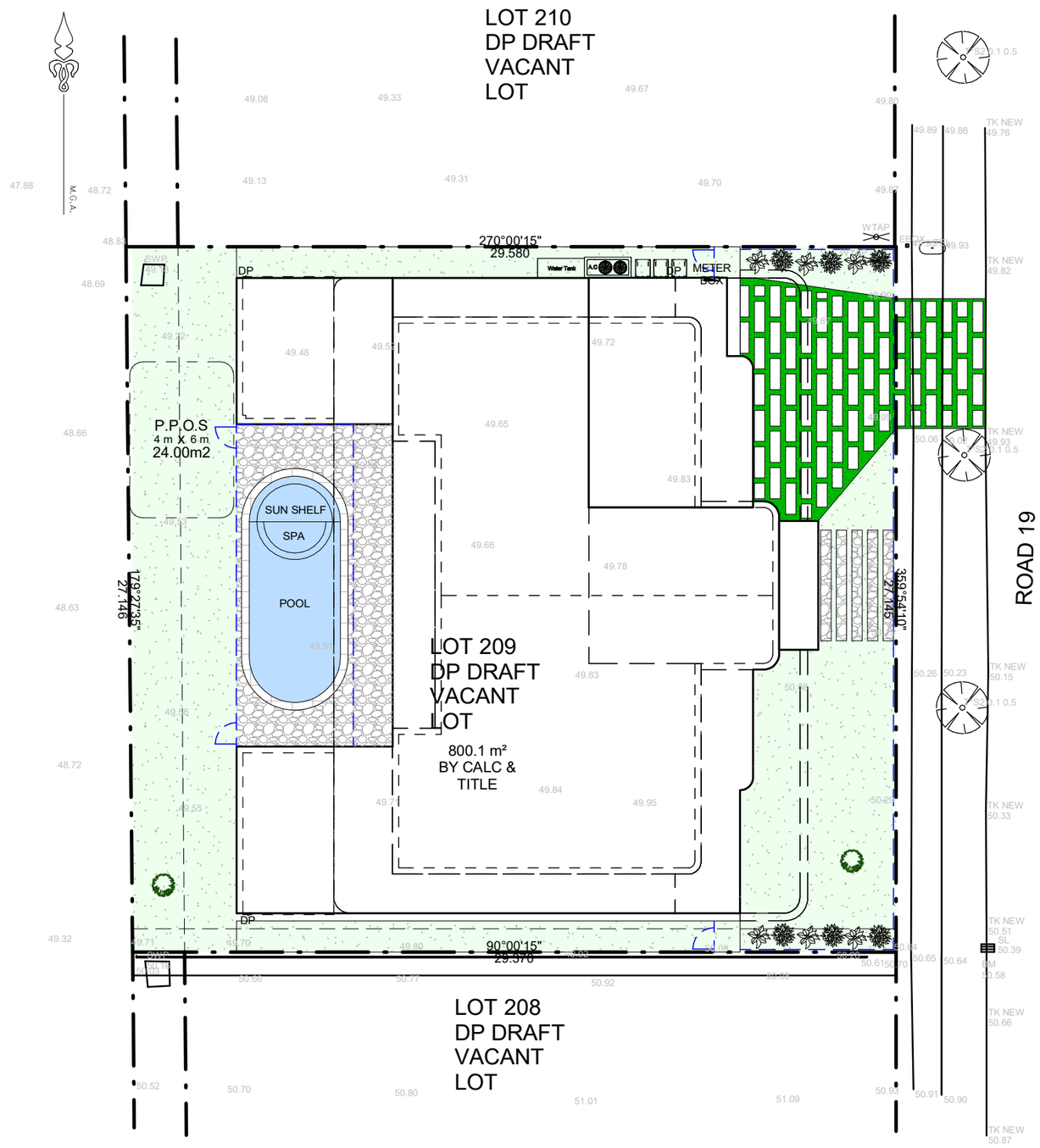
True Sago Palm *'Cycas Revoluta'*

Native Violet *'Viola Hederacea'*

Mat Rush *'Lomandra Longifolia'*

Japanese Box *'Buxus Microphylla'*

Coast Banksia *'Banksia Integrifolia'*

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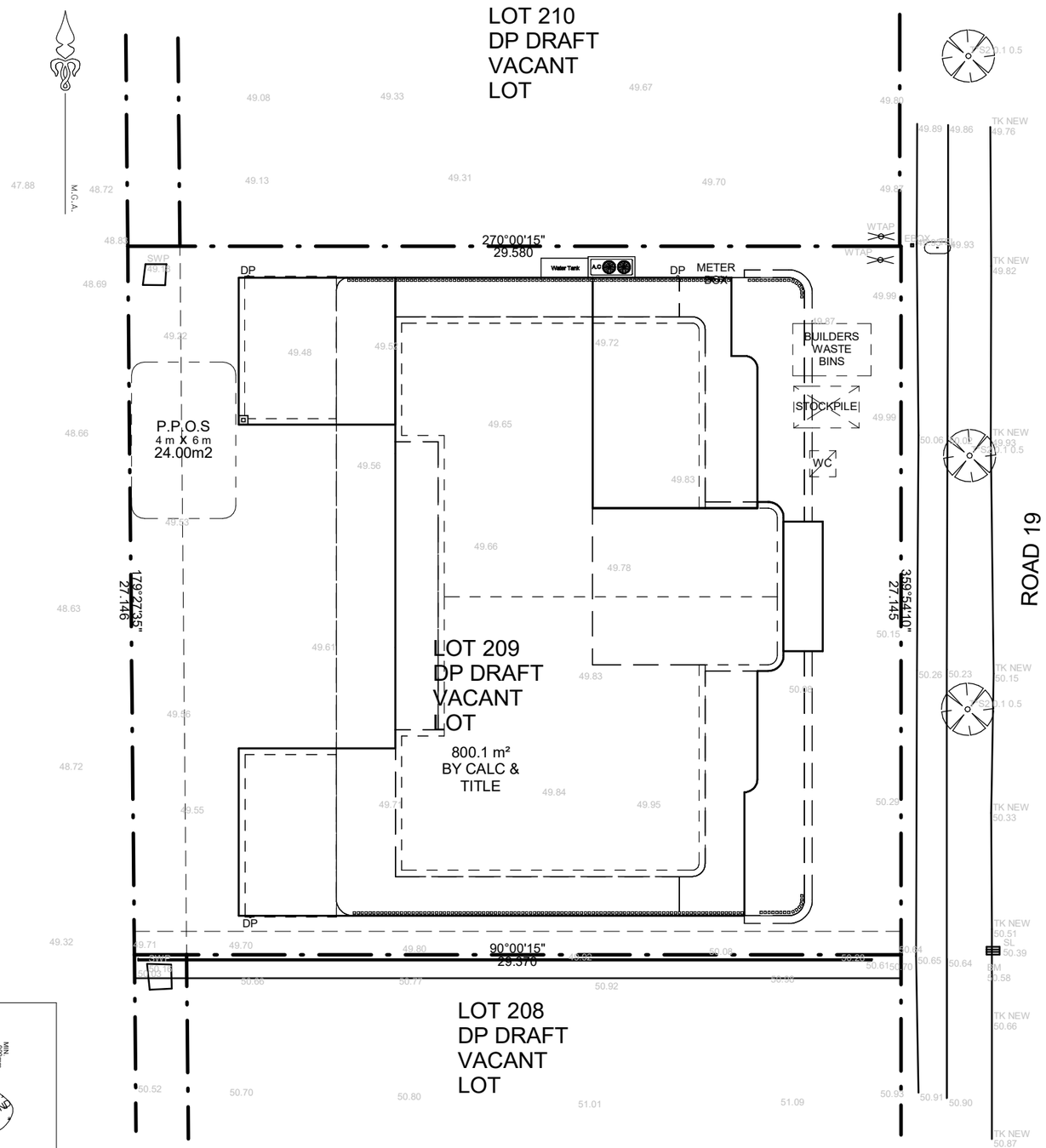
SHEET NAME:
CONCEPT LANDSCAPE PLAN

SHEET NO: 11
JOB NO: 209-RD19

SCALE:
1 : 200




# SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

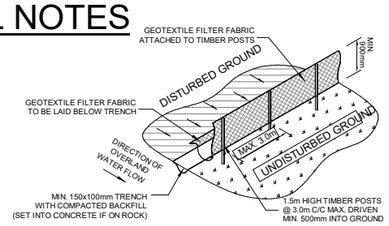
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEPT DAILY.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.




## SEDIMENT FENCE

NOT TO SCALE

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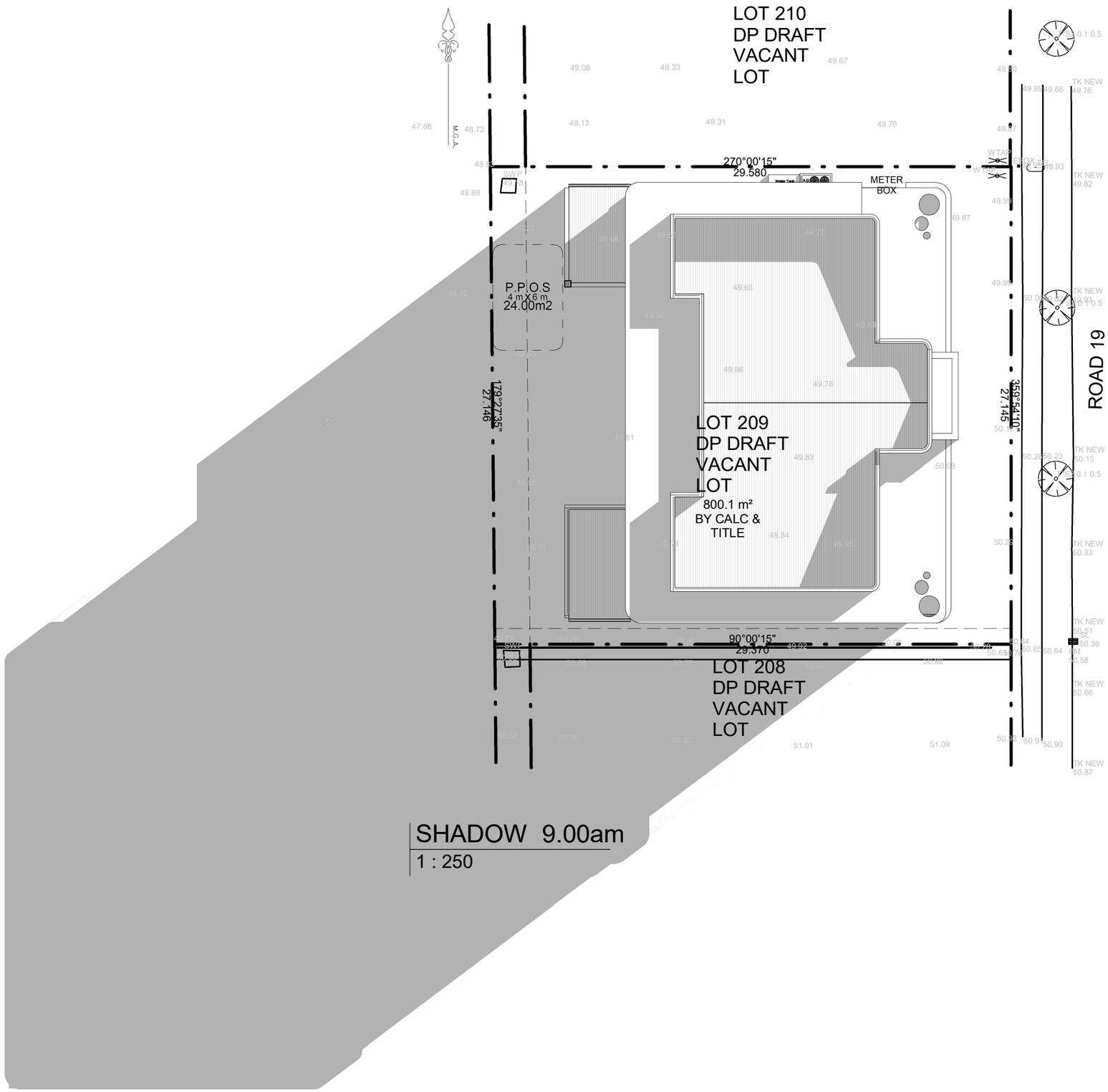
SHEET NAME:
EROSION AND SEDIMENT CONTROL PLAN

SHEET NO: 12

JOB NO: 209-RD19

SCALE: 1 : 200




SHADOW 9.00am

1 : 250

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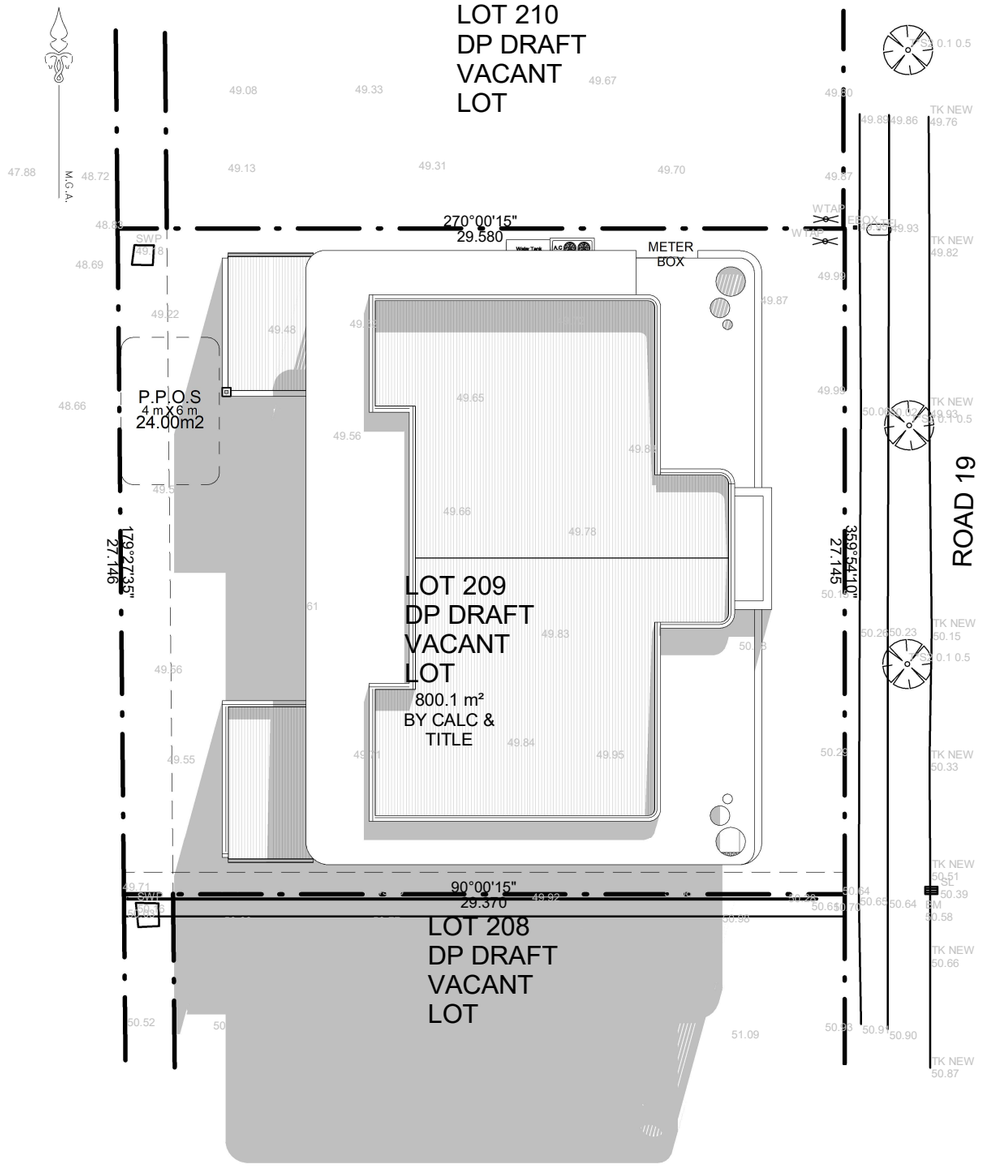
SHEET NAME:
SHADOW DIAGRAM 9AM

SHEET NO: 13

JOB NO: 209-RD19

SCALE: 1 : 250




# SHADOW 12.00 noon

1 : 250

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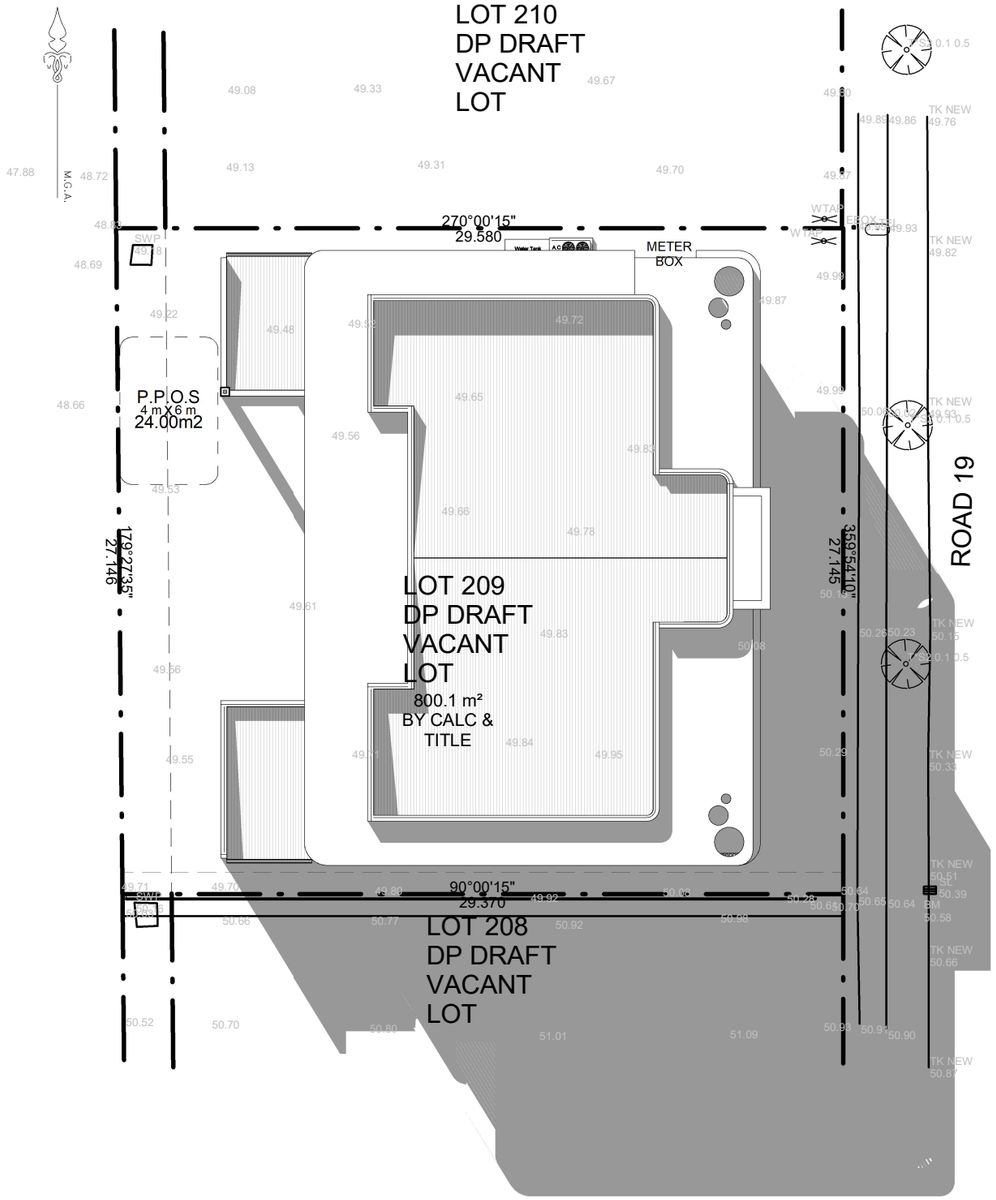
SHEET NAME:
SHADOW DIAGRAM 12PM

SHEET NO: 14

JOB NO: 209-RD19

SCALE: 1 : 250




SHADOW 3.00pm

1 : 250

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SHEET NAME:
SHADOW DIAGRAM 3PM

| SHEET NO: | JOB NO: |
|---|---|
| 15 | 209-RD19 |

SCALE:
1 : 250