

8 Lang Rd, Casula
Townhouses



BASIX Project Commitments		BASIX Number: 1385507M_03			
Proposed:	Multi Dwelling				
Address:	8 Lang Road, Casula NSW 2170				
Lot No / DP:	11/13864				
Water					
Fixtures		Specification			
Shower head rating		4 star (> 4.5 but <= 6 l/min)			
Toilet rating		3 star			
Kitchen taps rating		3 star			
Bathroom taps rating		3 star			
Alternative water details					
Rainwater tank size	Individual	2000L			
Connected to:	Garden and lawn areas	Yes			
	All toilets	Yes			
	Laundry	No			
Thermal Comfort		Accreditation Number:	HERA 10056	NatHERS Number:	0008553280
External walls		Requirements			
Fibro cavity panel direct fix		U1	Light colour	R2.7	Bulk + Anti-glare foil
Fibro cavity panel direct fix		U2 to U9	Medium colour	R2.7	Bulk + Anti-glare foil
Brick veneer		U2 to U9	Medium colour	R2.7	Bulk + Anti-glare foil
Cavity brick		U1, U2, U3, U4, U5, U8, U9	Medium colour	-	No Insulation
Cavity brick		Partition Wall between U6, U7	Medium colour	R1.1	Bulk + Reflective both sides
Internal walls					
Cavity wall, direct fix plasterboard		Standard specification (excluding below)	No insulation		
Cavity wall, direct fix plasterboard		U2, U3, U4, U5, U9: garage only U6: garage and bath 1F	R2.0 Bulk insulation		
Partition walls					
Cavity brick		U1, U2, U3, U4, U5, U8, U9	No insulation		
Cavity brick		Partition Wall between U6, U7	R1.1 Bulk + Reflective both sides		
Ceiling					
External ceiling - Plasterboard		Standard specification	R6.0 Bulk insulation		
Internal ceiling - Timber		Standard specification (excluding below)	No insulation		
Internal ceiling - Timber		U7 only	R2.5 Bulk insulation		
Roof					
Corrugated iron		Dark Colour (solar absorbance >0.70)			
Waterproofing membrane		R1.8 Bulk + Reflective side down, No air gap above (Anticon 75, 80mm)			
		Medium Colour (solar absorbance 0.475-0.7)			
		No insulation			
Floors					
Concrete slab on ground		Standard specification	No insulation		
Suspended timber		Standard specification (excluding below)	No insulation		
Suspended timber		U2, U3, U6, U7	R2.5 Bulk insulation		
Windows					
Aluminium frame ALM-001-01		Standard awning glazing specification	Single Clear glazing with U-value 6.70 and SHGC 0.57 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)		
Aluminium frame ALM-002-01		Standard sliding and fixed glazing specification	Single Clear glazing with U-value 6.7 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)		
Aluminium frame ATB-005-03		U7: all awning	Double argon fill low-e glazing with U-value 2.91 and SHGC 0.44 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)		
Aluminium frame ATB-006-03		U7: all sliding and fixed glazing (excluding bath 1F)	Double argon fill low-e glazing with U-value 2.9 and SHGC 0.51 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)		
Ceiling Penetrations					
Downlight Covers		Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.			
Lighting specification		Dwelling is rated without downlight			
Ceiling fans		No ceiling fans need to be installed			
Overshadowing details		Adjoining units calculated into model calculations			
Site					
Orientation of nominal north elevation		As shown on plans			
Energy					
Hot water		Specification	Rating		
Individual system		Gas instantaneous	6 star		
Ventilation					
Bathroom, Kitchen and laundry exhaust		Individual fan, ducted to façade or roof			
Control switch		Manual switch on/off			
Heating and Cooling					
Individual systems - living areas		3-phase airconditioning		EER > 4.0	
Individual systems - bedroom areas		3-phase airconditioning		EER > 4.0	
Appliances					
Cooktop/oven		Gas cooktop & electric oven			
Ventilated fridge space		Yes			
Private outdoor clothes drying line		Yes			
Private indoor or sheltered clothes drying line		Yes			



CRETE-TECH
WHY BUILD, WHEN YOU CAN PRINT



DESIGN & CONSTRUCT
CONCEPT TO REALITY

5.7

NATIONWIDE HOUSE

64.4

0008550964-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U1, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

6.4

NATIONWIDE HOUSE

78.3

0008550998-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U4, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

6.2

NATIONWIDE HOUSE

83.5

0008551020-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U7, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

6.3

NATIONWIDE HOUSE

80.2

0008550972-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U2, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

6.9

NATIONWIDE HOUSE

66.4

0008551004-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U6, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

6.3

NATIONWIDE HOUSE

81.8

0008551038-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U8, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

5.9

NATIONWIDE HOUSE

89.1

0008550980-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U3, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

6.4

NATIONWIDE HOUSE

78.2

0008551012-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U5, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

5.9

NATIONWIDE HOUSE

87.8

0008551046-03

12 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

Unit U9, 8 Lang Road, Casula, NSW, 2170

hstar.com.au

NATIONWIDE HOUSE

6.2

0008553280

13 Mar 2024

Assessor Jamie Bonnefin

Accreditation No. 10056

Address

8 Lang Road, Casula, NSW, 2170

hstar.com.au

SITE ADDRESS: 8 Lang Rd, Casula
LOT: 11 | SEC: | DP:13864
ISSUED FOR: Issued for CC
PROJECT TYPE: Townhouses

SCALE: DATE: March 2025 REV: 1 SHEET NO: A0

PROJECT NO: C2511

8 Lang Rd, Casula

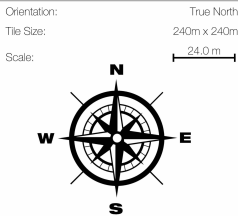
Townhouses

REFER TO CALCULATION PLAN
PAGE A6



SITE CADASTRE

URBANINFINITY
Site Address: 8 Lang Rd
Casula, 2170 NSW
CRS: MGA Zone EPSG:28356
Extent: 306832.4, 6241547.2
306872.4, 6241787.2
Cadastral:
Latitude: -33.94775°
Longitude: 150.90885°
Cadastral Title: 11/DP13864
Cadastral Area: 1727.77 sqm



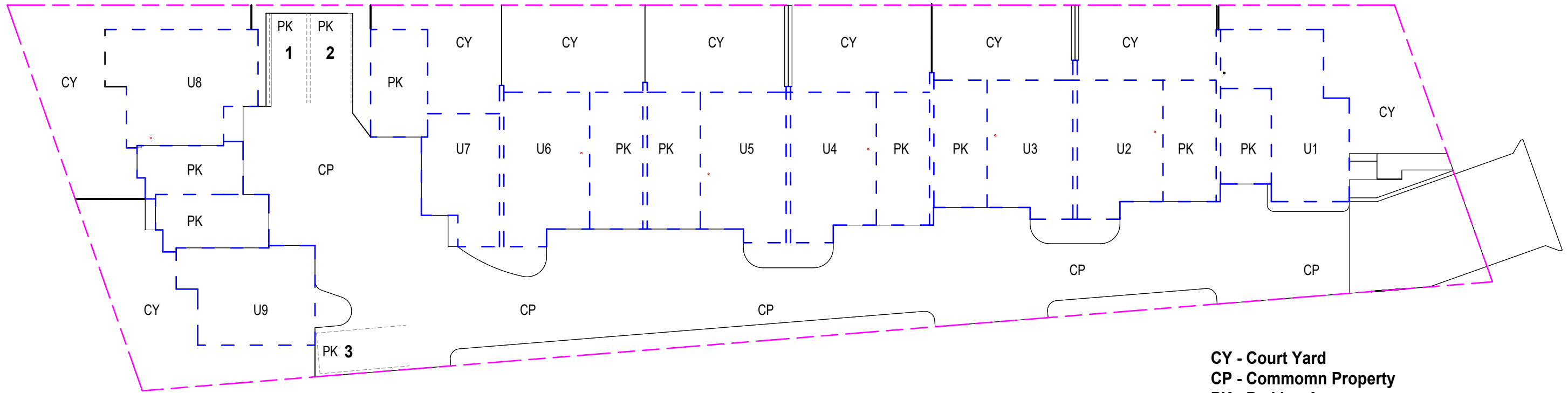
A0	Cover Page
A1	Title Page
A2	Site Plan
A2.1	Strata Subdivision Plan
A3	Demolition Plan
A3.1	Cut & Fill Sections
A4	GF Floor Plan
A4.1	FF Floor Plan
A5	Fence Plan
A6	Calculation Plan
A7	Dimension Plan U1
A7.1	Dimension Plan U2
A7.2	Dimension Plan U3
A7.3	Dimension Plan U4
A7.4	Dimension Plan U5
A7.5	Dimension Plan U6
A7.7	Dimension Plan U7
A7.8	Dimension Plan U8
A7.9	Dimension Plan U9
A8	Elevations NW
A8.1	Elevations NW
A8.2	Elevations SE
A8.3	Elevations SE
A8.4	Elevations NE & SW
A9	Sections
A9.1	Sections
A10	Door Schedules
A10.1	Door Schedules
A11	Window Schedules
A12	Material Schedule
A13	GFL Slab Plan
A13.1	GFL Slab Plan
A13.2	GFL Slab Plan
A14	FFL Slab Plan
A14.1	FFL Slab Plan
A14.2	FFL Slab Plan
A15	GFL U1-4 Electrical & Lighting Plan
A15.1	FF U1-4 Electrical & Lighting Plan
A15.2	GFL U5-7 Electrical & Lighting Plan
A15.3	FF U5-7 Electrical & Lighting Plan



A15.4	U8&9 Electrical & Lighting Plan
A16	Wet Area Plan
A16.1	Wet Area Plan
A16.2	Wet Area Plan
A16.3	Wet Area Plan
A16.4	Wet Area Plan
A17	Construction Details
A17.1	Construction Details



SITE ADDRESS: 8 Lang Rd, Casula
LOT: 11 | SEC: | DP:13864
ISSUED FOR: Issued for CC
PROJECT TYPE: Townhouses



CY - Court Yard
CP - Common Property
PK - Parking Area
BN - Bin Area

1

A - Draft Strata Plan

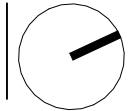
1 : 250

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which they were commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Strata Subdivision Plan
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 250
DATE: March 2025

REV: 1

SHEET NO: A2.1



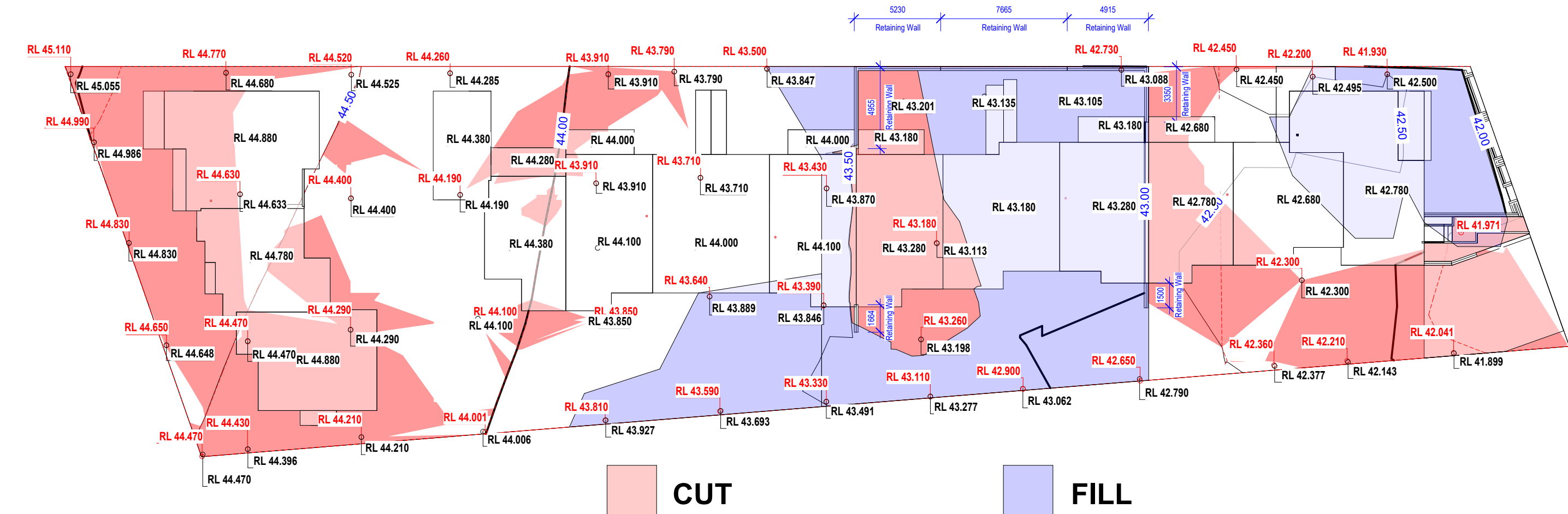
CRETE-TECH



CEDAR

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 A- Demolition, Cut & Fill Plan

1 : 250

Other	
Net cut/fill	117.539 m ³
Fill	145.834 m ³
Cut	28.295 m ³



Blue line indicates proposed topography (fill)

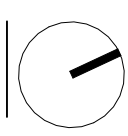
Red line indicates existing topography (to be cut)
Also indicates on plan view building/structures to be demolished

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Demolition Plan
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 250
DATE: March 2025

REV: 1

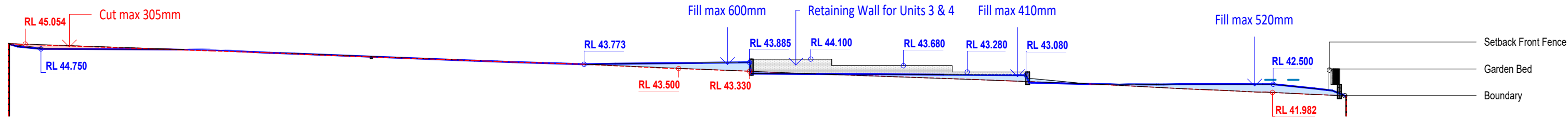
SHEET NO: A3

CRETE-TECH
DESIGN & CONSTRUCT
CONCEPT TO REALITY

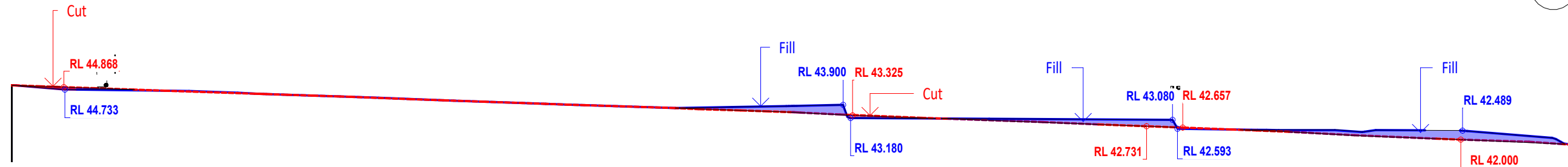
CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

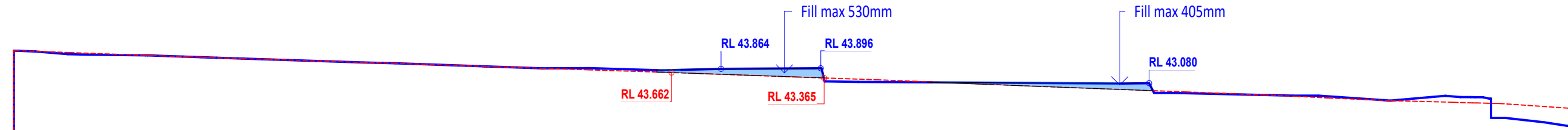
PROJECT NO: C2511



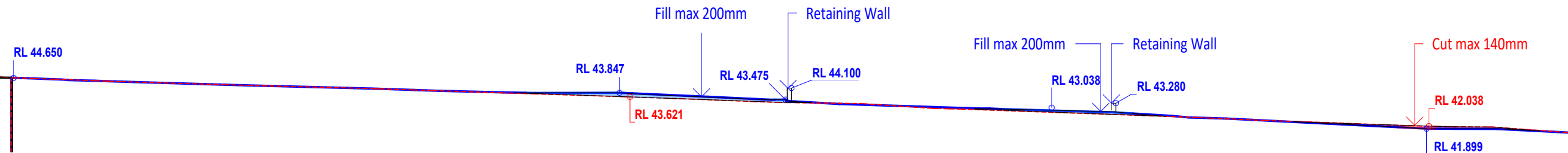
1 Cut & Fill Section 1
1 : 250



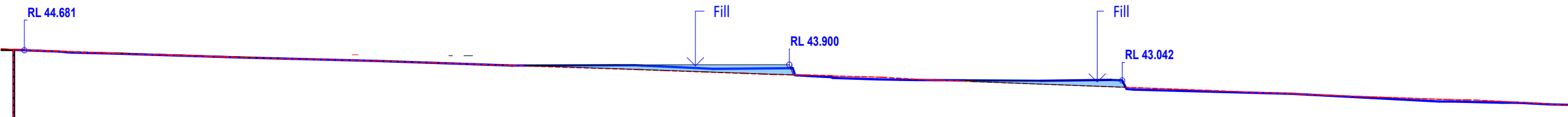
2 Cut & Fill Section 2
1 : 250



3 Cut & Fill Section 3
1 : 250



4 Cut & Fill Section 4
1 : 250



5 Cut & Fill Section 5
1 : 250

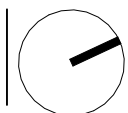
0008553280 13 Mar 2024
Assessor Jamie Bonnefin
Accreditation No. 10056
Address
8 Lang Road,
Casula, NSW,
2170
hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Cut & Fill Sections
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 250
DATE: March 2025

REV: 1

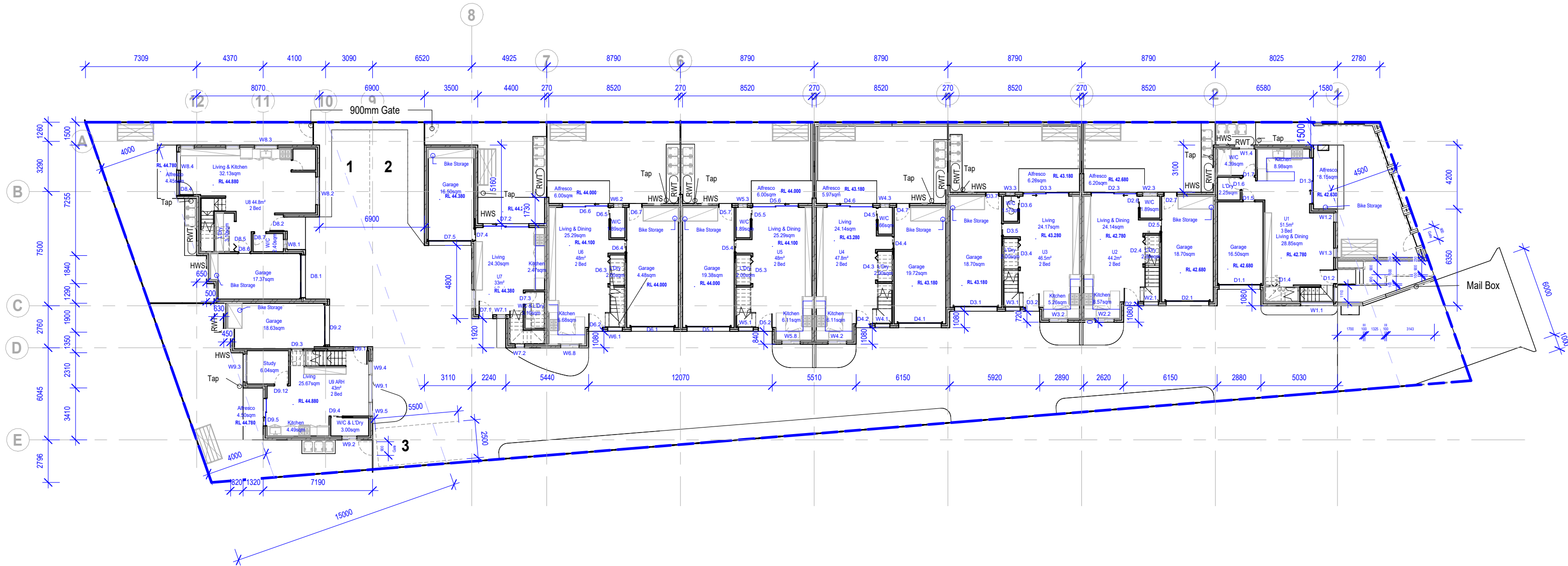
SHEET NO: A3.1

CRETE-TECH
DESIGN & CONSTRUCT
CONCEPT TO REALITY

CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511





0008553280 13 Mar 2024

Assessor Jamie Bonnetin

Accreditation No. 10056

Address
8 Lang Road,
Casula, NSW,
2170



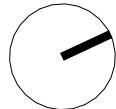
hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: GF Floor Plan
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 250
DATE: March 2025



CRETE-TECH
DESIGN & CONSTRUCT

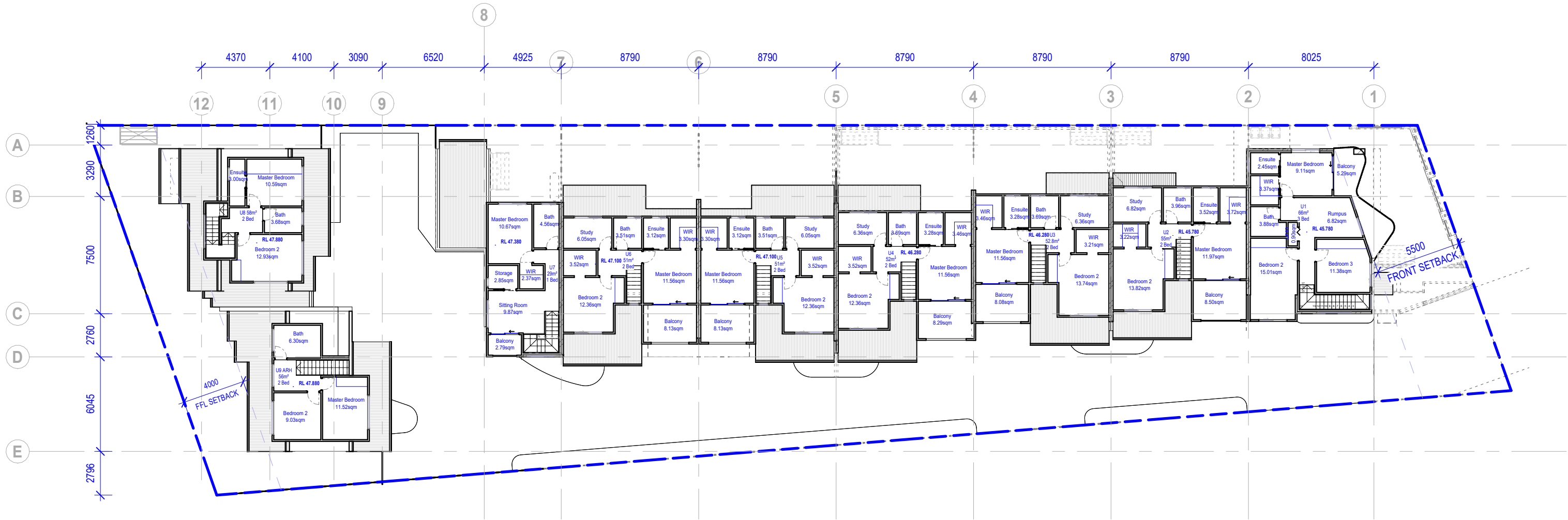


CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

REV: 1 SHEET NO: A4

PROJECT NO: C2511



0008553280 13 Mar 2024
Assessor Jamie Bonnellin
Accreditation No. 10056
Address
8 Lang Road,
Casula, NSW,
2170
hstar.com.au

1 A- First Floor Plan

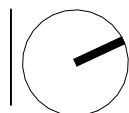
1 : 250

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: FF Floor Plan
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

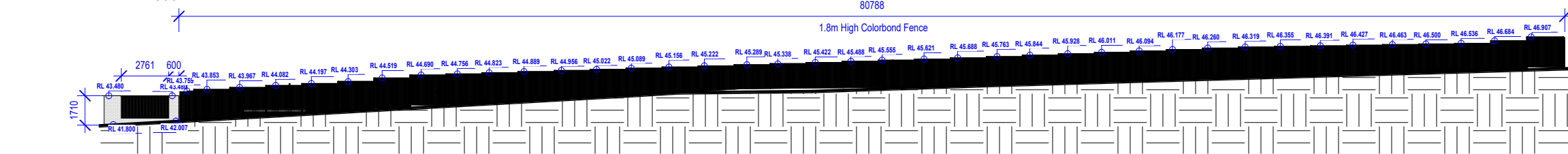
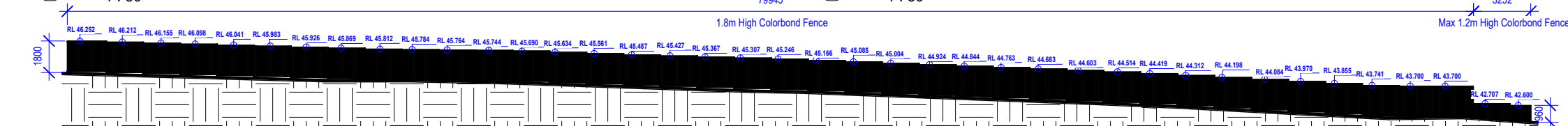
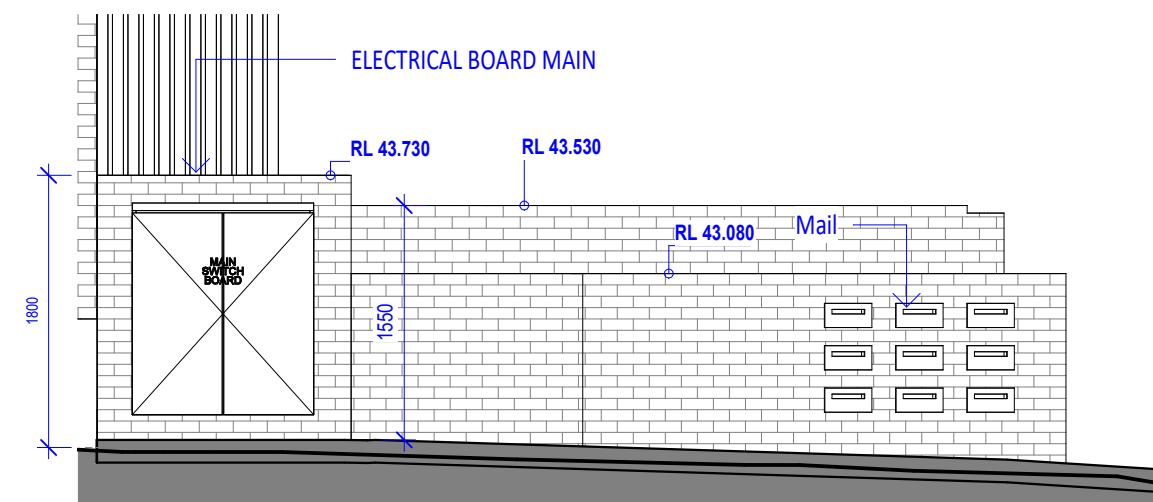


SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 250
DATE: March 2025

REV: 1 SHEET NO: A4.1

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



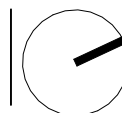
NOTE:

- * Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
- * All drawings are to be read in conjunction with the relevant Codes & Standards. In the event of any conflict between site conditions and documents, Contractor to verify all dimensions on site before commencing work.
- * All work not entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will allowed for.
- * All materials, appliances, fittings and finishes are to be installed in accordance with the Manufacturer's recommendations and in compliance with the relevant Codes & Standards.
- * These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
- * This contract is only to be used for the purpose for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	
n	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Fence Plan
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | **DP:**13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: As indicated **DATE:** March 2025

REV: 1 **SHEET NO:** A5



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
 Reg #: 2125/16

PROJECT NO: C2511

The floor plan shows the layout of the first floor. Units are labeled UNIT 1 through UNIT 9. Common areas are labeled 1, 2, and 3. Dimensions are provided for various sections: 3460, 4930, 3840, 3840, 3840, 3050, 3050, 3121, and 4521. The plan also includes a north arrow and a scale bar.

- Front Setback Area
101.1m²
(less than 30% paved or
sealed)

A- GF - Calculation Plan

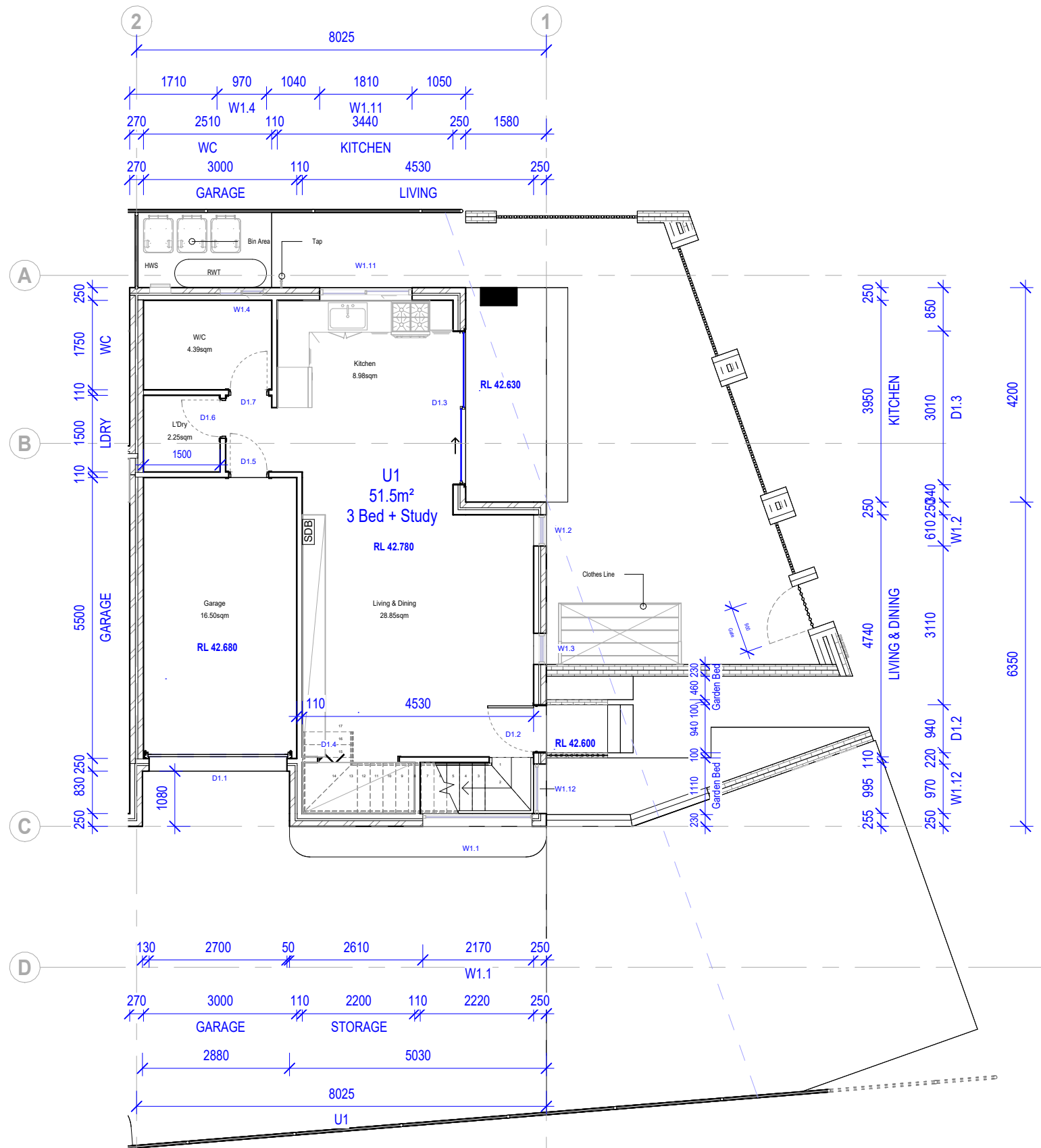
A- FF - Calculation Plan

[illegible]

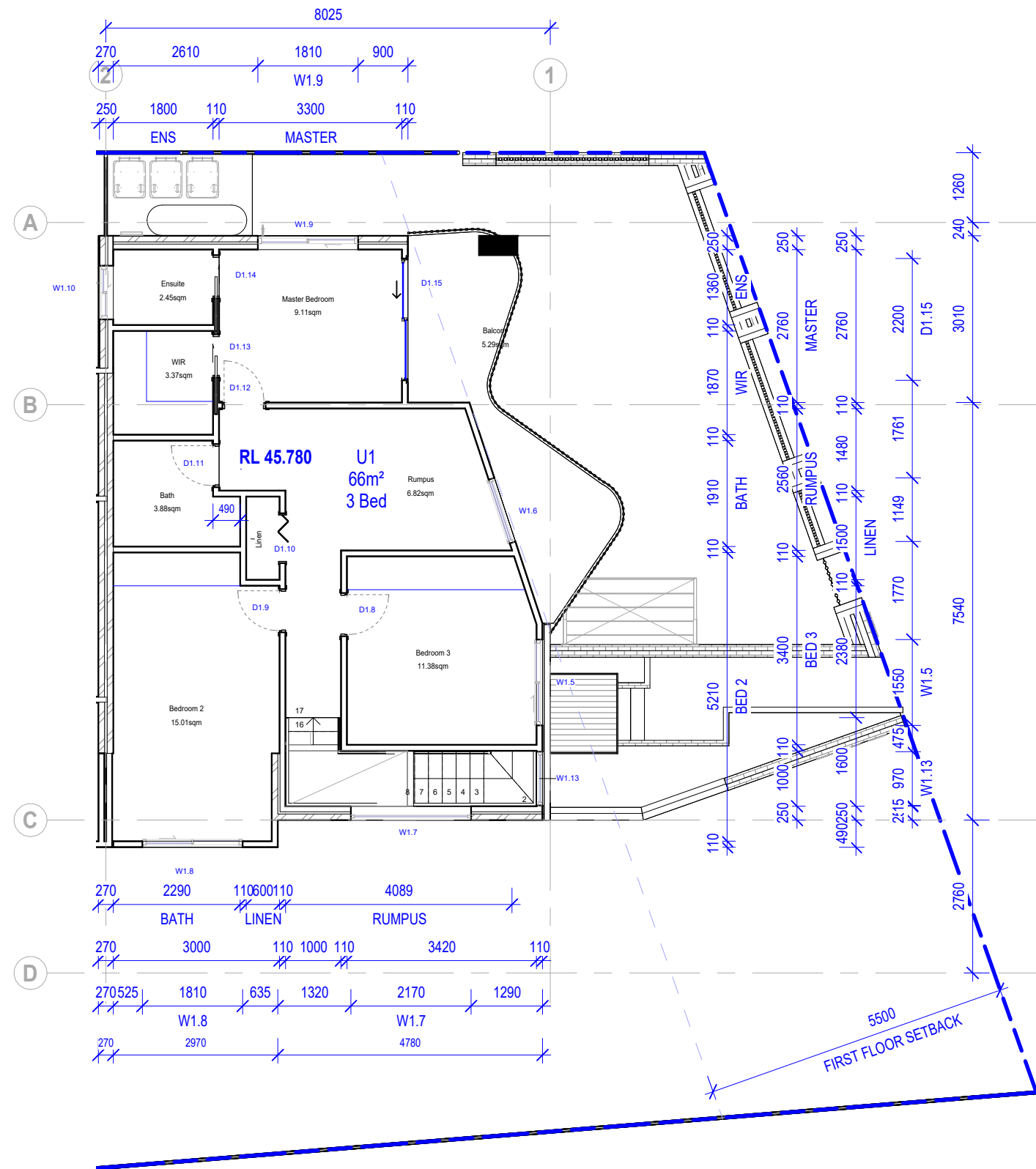
A- Landscape Calculation Plan

U1: 11m ³	U2: 12m ³	U3: 12m ³
U4: 13m ³	U5: 13m ³	U6: 13m ³
U7: 9m ³	U8: 8m ³	U9: 9m ³

PROJECT NO: C2511



1 A- Unit 1- Ground Floor Dimension Plan
1 : 100



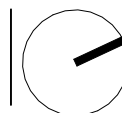
2 A- Unit 1- First Floor Dimension Plan
1 : 100

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U1
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

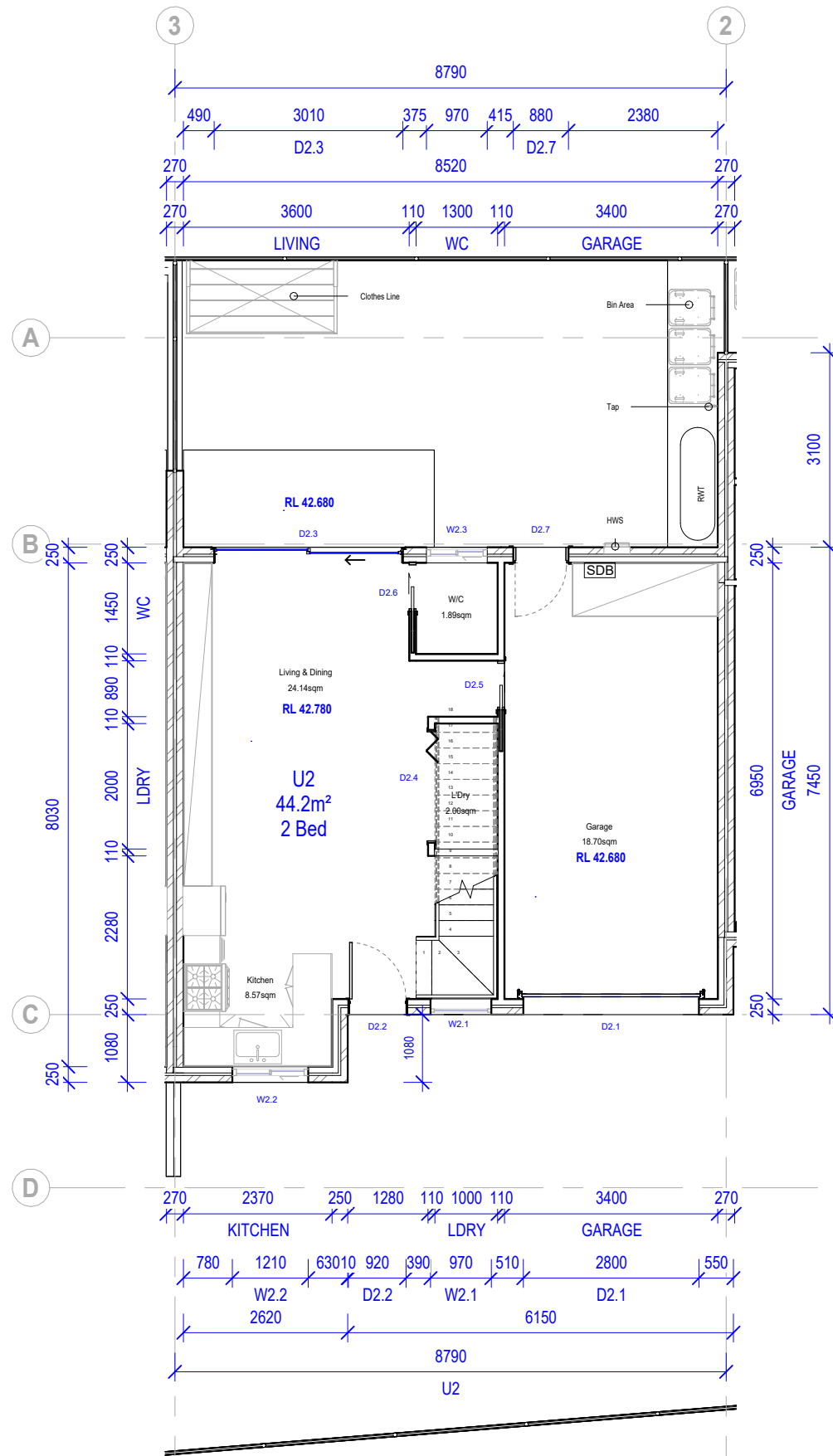


SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1
SHEET NO: A7

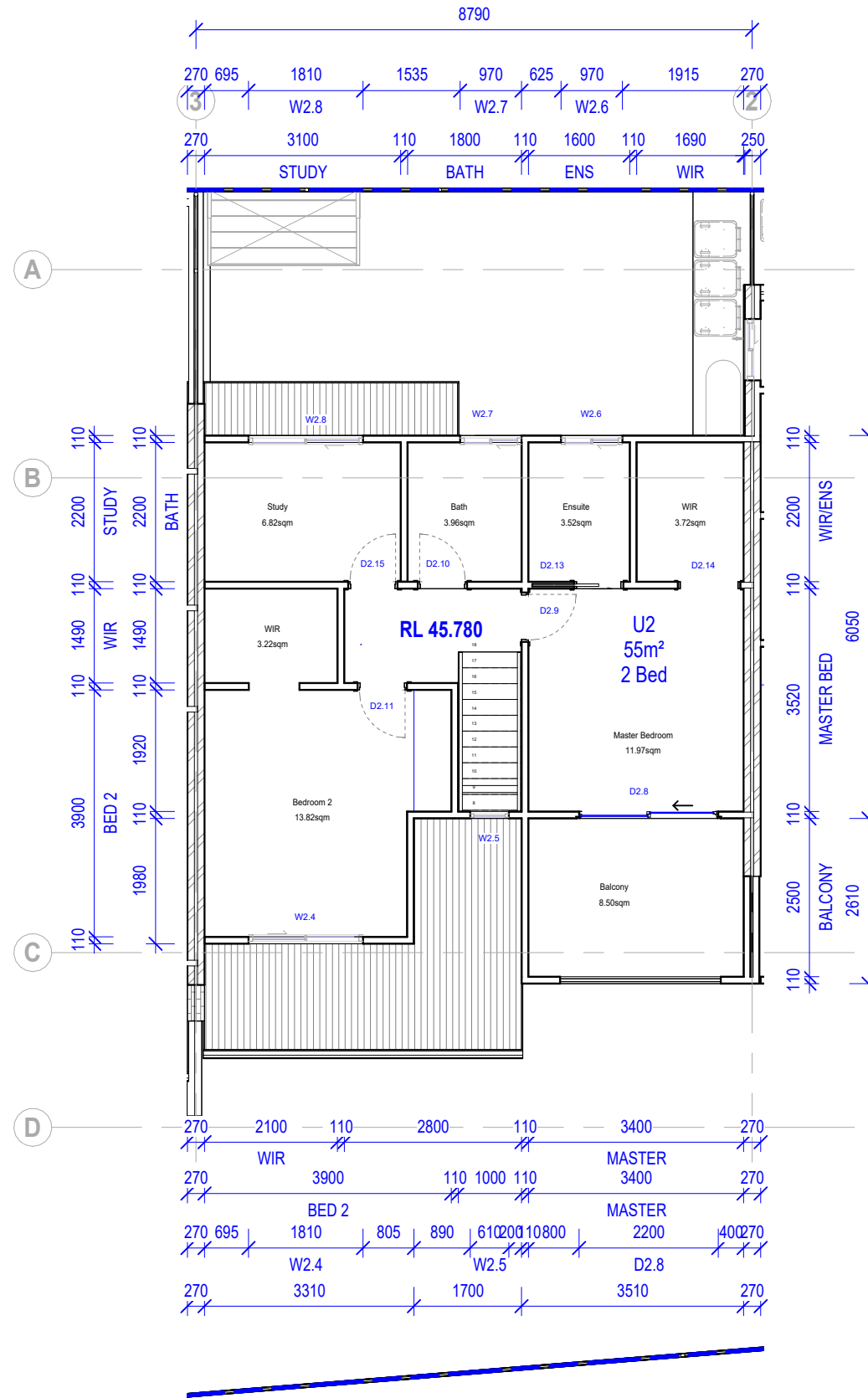


PROJECT NO: C2511



1 A- Unit 2 - Ground Floor Dimension Plan

1 : 100



2 A- Unit 2 - First Floor Dimension Plan

1 : 100

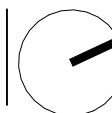


NOTE:
 * Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
 * Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
 * Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
 * All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
 * These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
 * These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U2
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | **DP: 13864**
COUNCIL AREA : Liverpool City Council



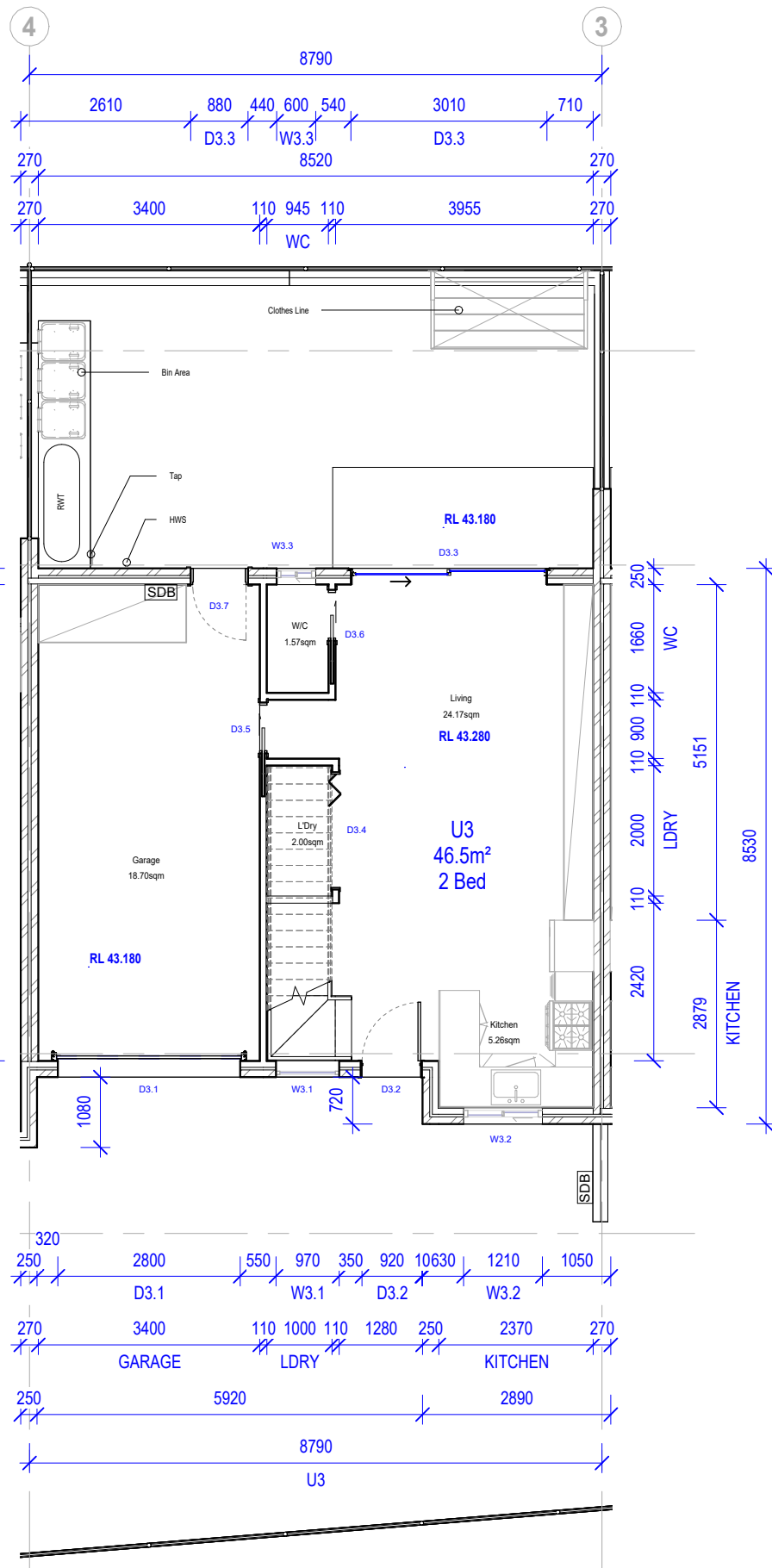
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100 **DATE:** March 2025 **REV:** 1 **SHEET NO:** A7.1



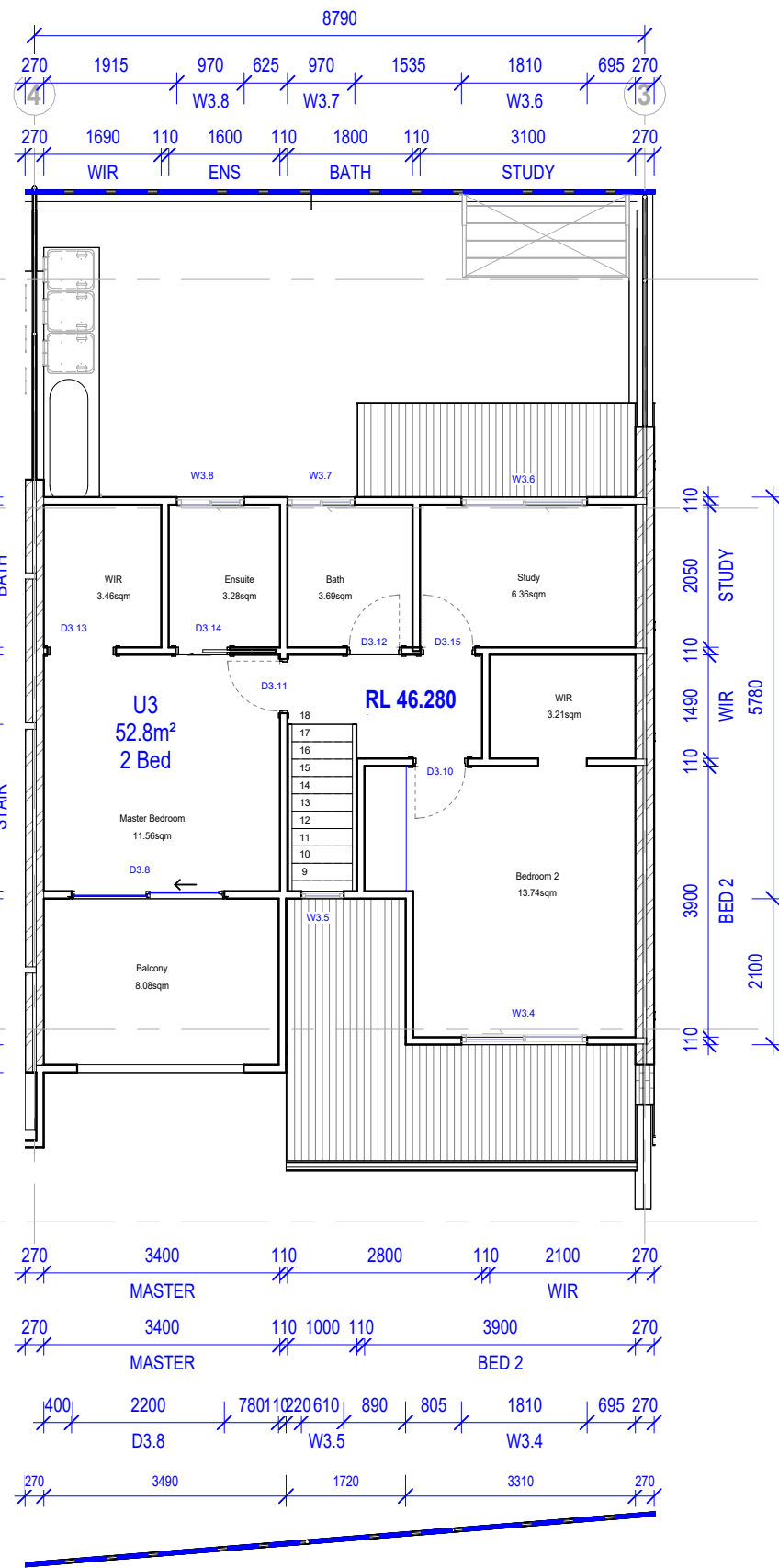
4/83-85 North Tce,
 Bankstown NSW 2200
 www.cedardesign.com.au
 info@cedardesign.com.au
 Phone: 0422 704 479
 A.B.N: 87 616 143 661
 Reg #: 2125/16

PROJECT NO: C2511



A- Unit 3- Ground Floor Dimension Plan

1 : 100



A- Unit 3- First Floor Dimension Plan

1 : 100



NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U3
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | **DP:13864**

COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100

DATE: March 2025

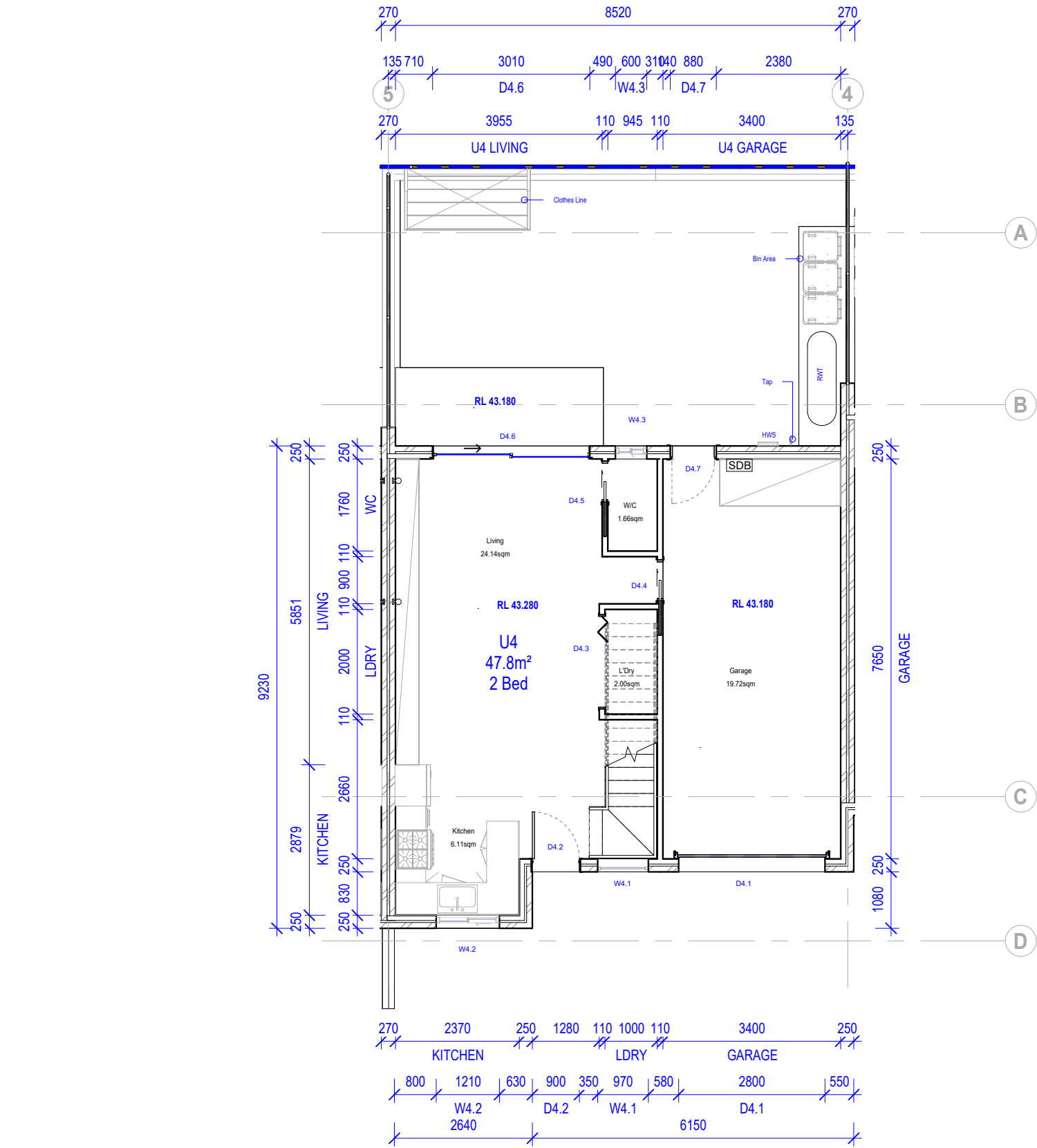
REV: 1

SHEET NO: A7.2



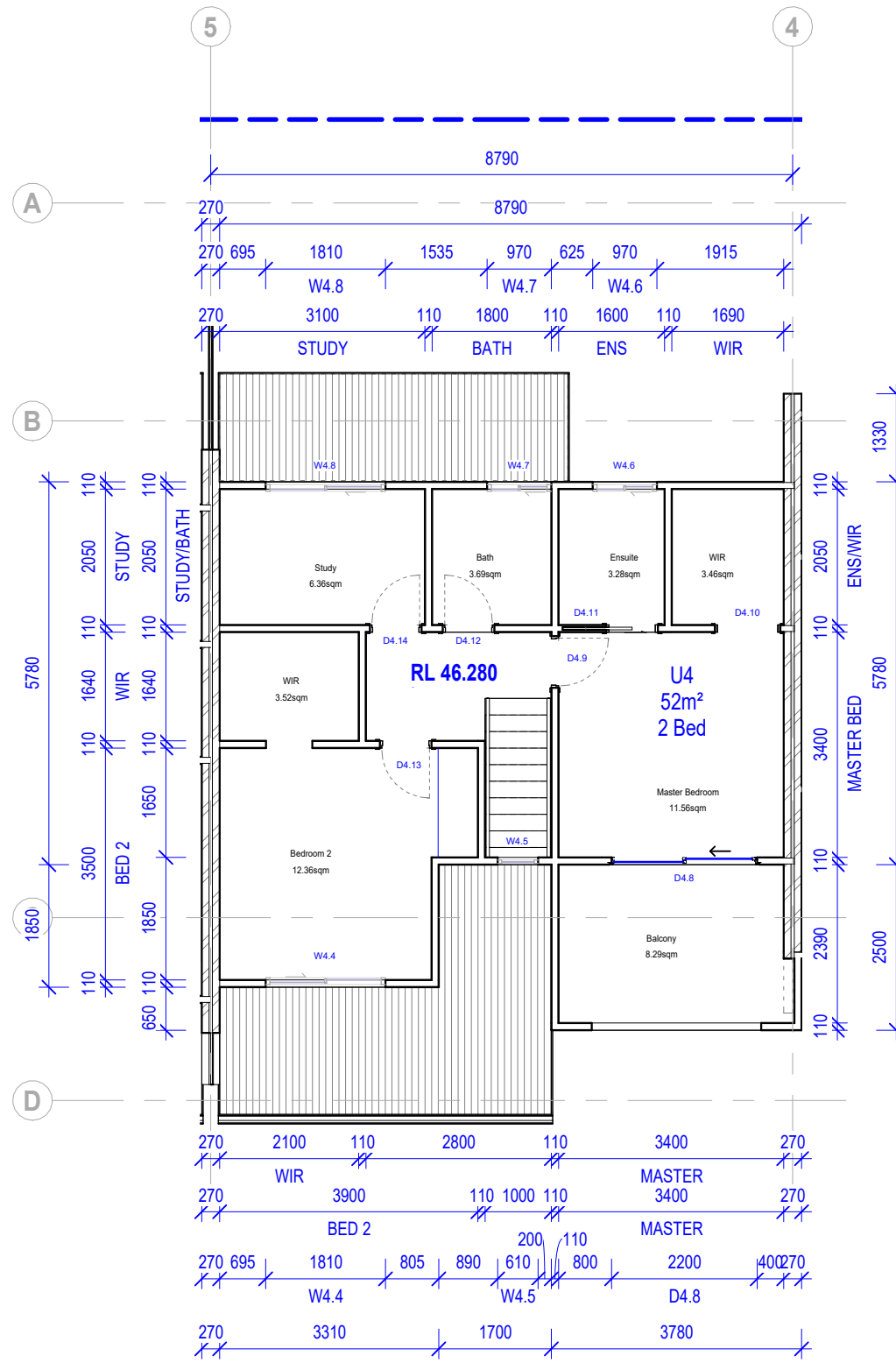
4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 A- Unit 4- Ground Floor Dimension Plan

1 : 100



2 A- Unit 4- First Floor Dimension Plan

1 : 100

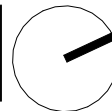
0008553280 13 Mar 2024
Assessor Jamie Bonnefin
Accreditation No. 10056
Address
8 Lang Road,
Casula, NSW,
2170
hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U4
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



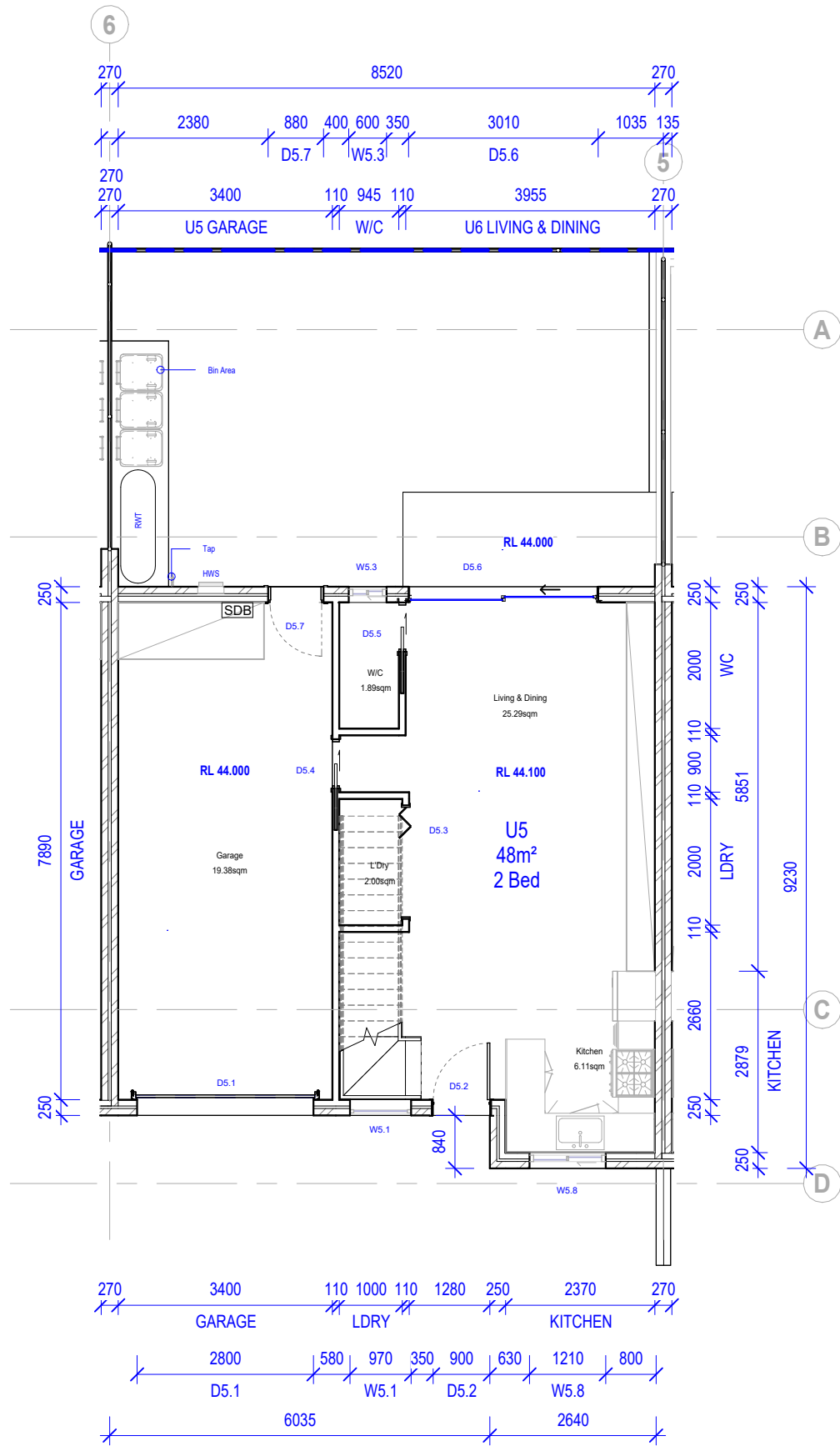
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100
DATE: March 2025
REV: 1
SHEET NO: A7.3



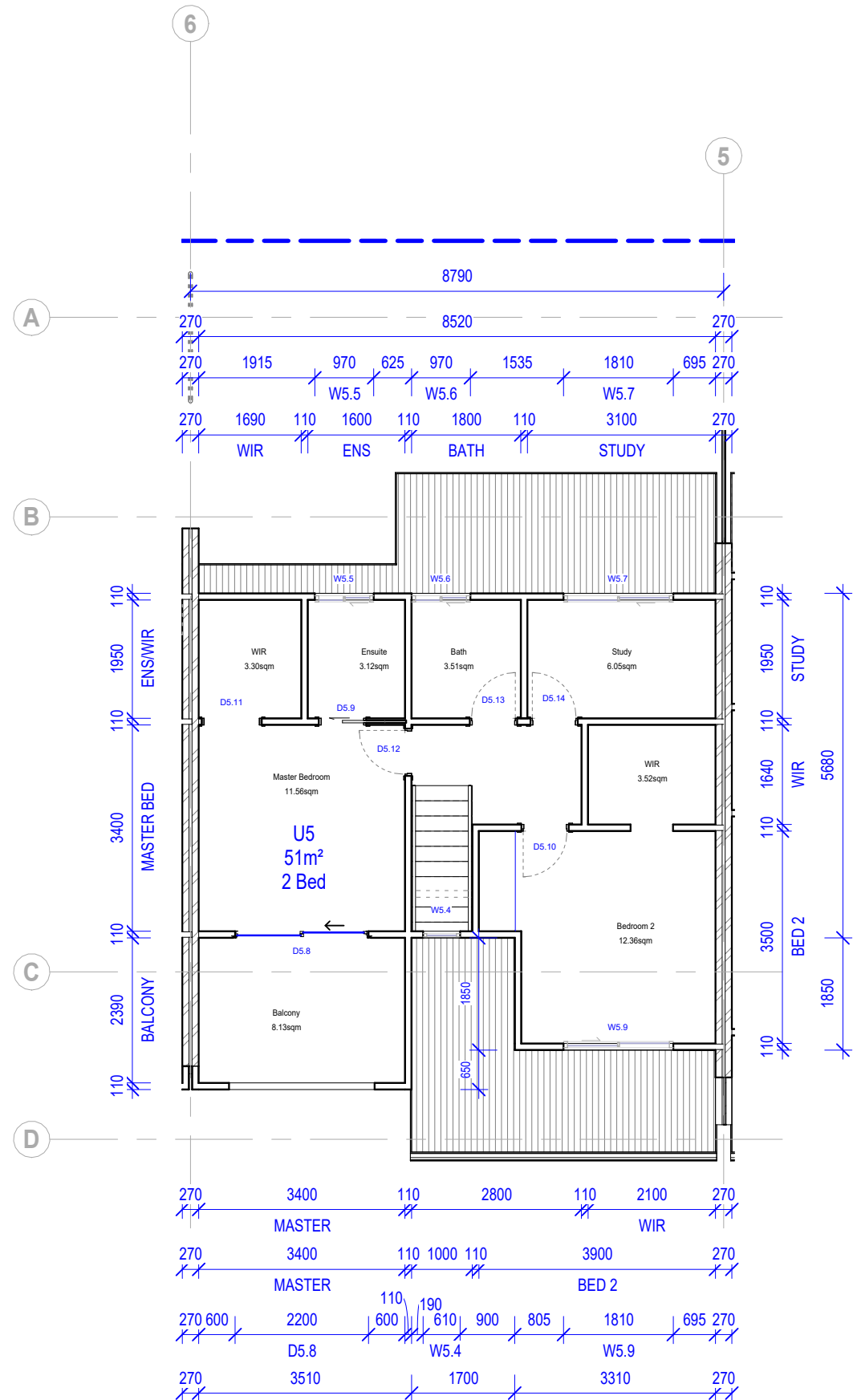
4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



A- Unit 5- Ground Floor Dimension Plan

1 : 100



A- Unit 5- First Floor Dimension Plan

1 : 100

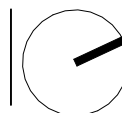


NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U5
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | **DP:13864**
COUNCIL AREA : Liverpool City Council



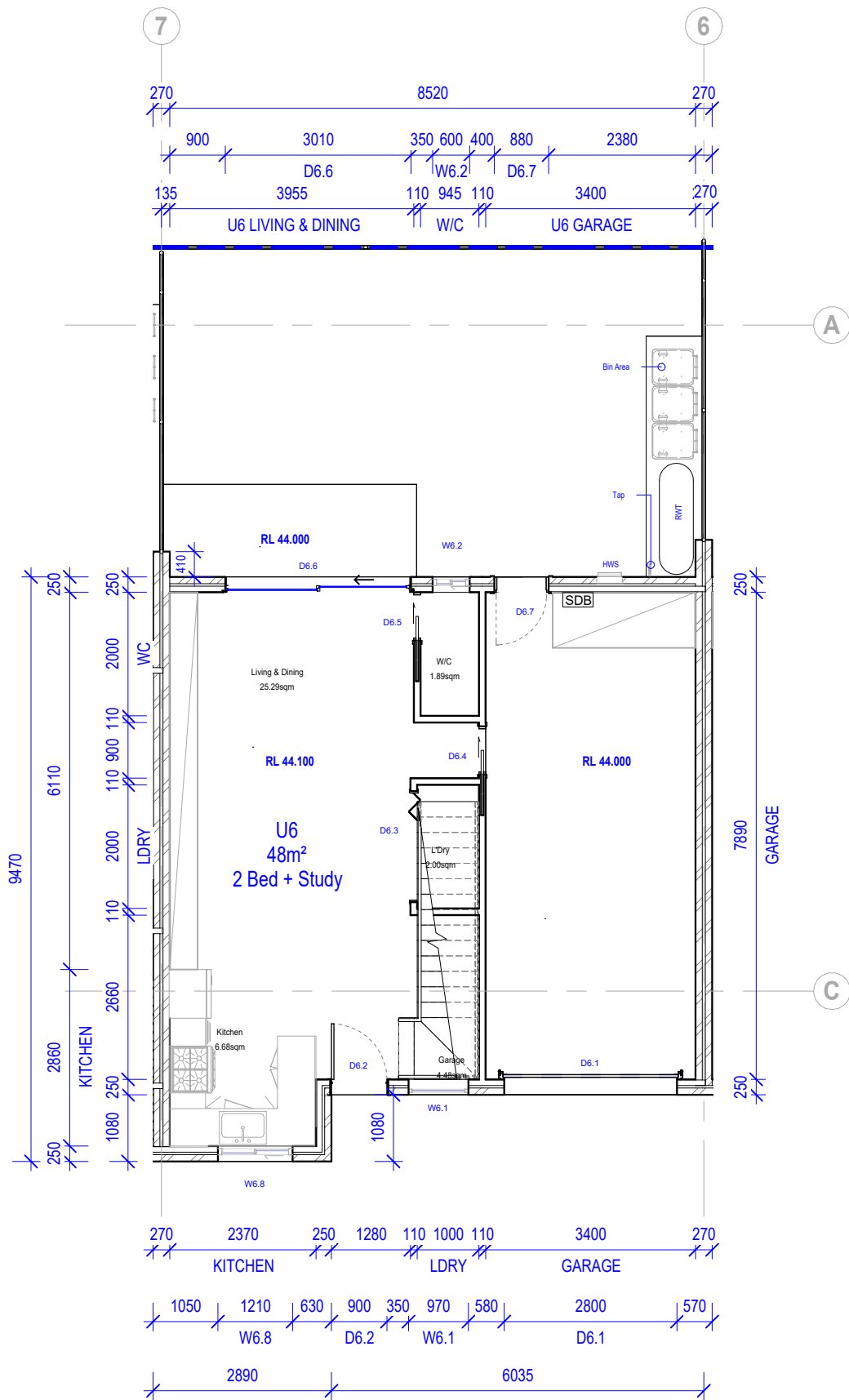
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100
DATE: March 2025
REV: 1
SHEET NO: A7.4



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

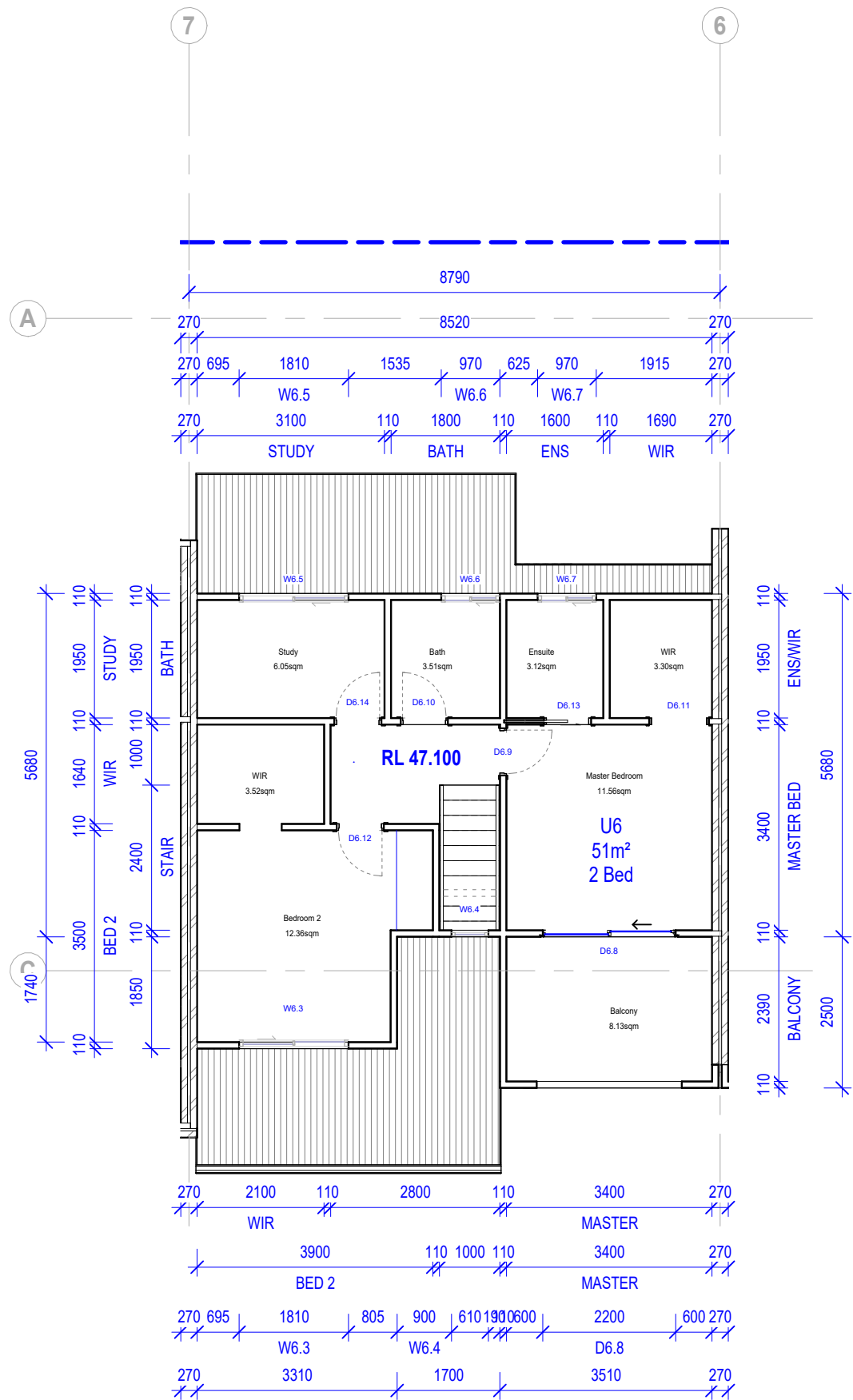
PROJECT NO: C2511



A- Unit 6- Ground Floor Dimension Plan

1

1 : 100



A- Unit 6- First Floor Dimension Plan

2

1 : 100

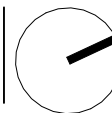


NOTE:
 * Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
 * Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
 * Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
 * All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
 * These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
 * These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U6
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | **DP: 13864**
COUNCIL AREA : Liverpool City Council



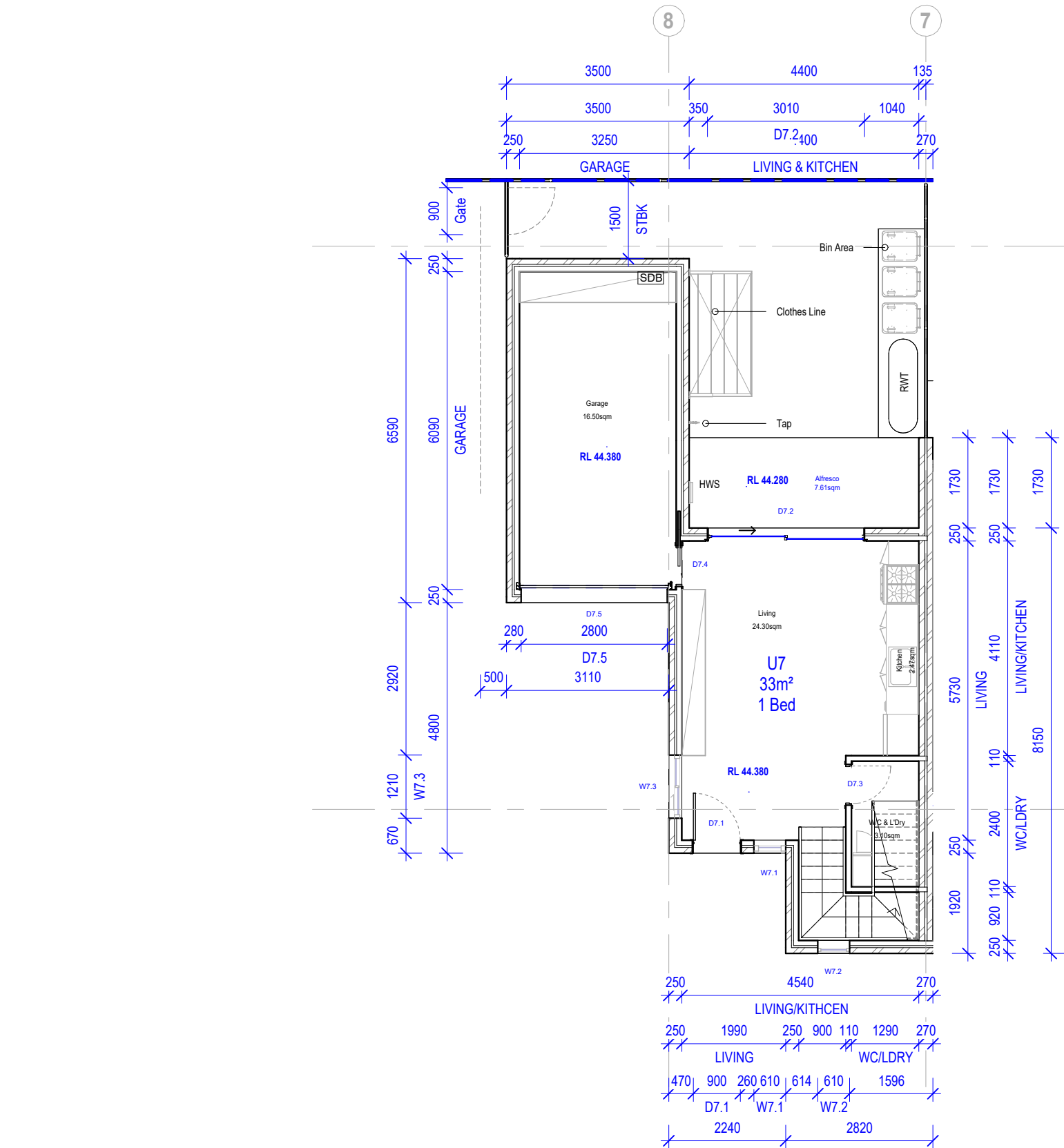
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100 **DATE:** March 2025 **REV:** 1 **SHEET NO:** A7.5

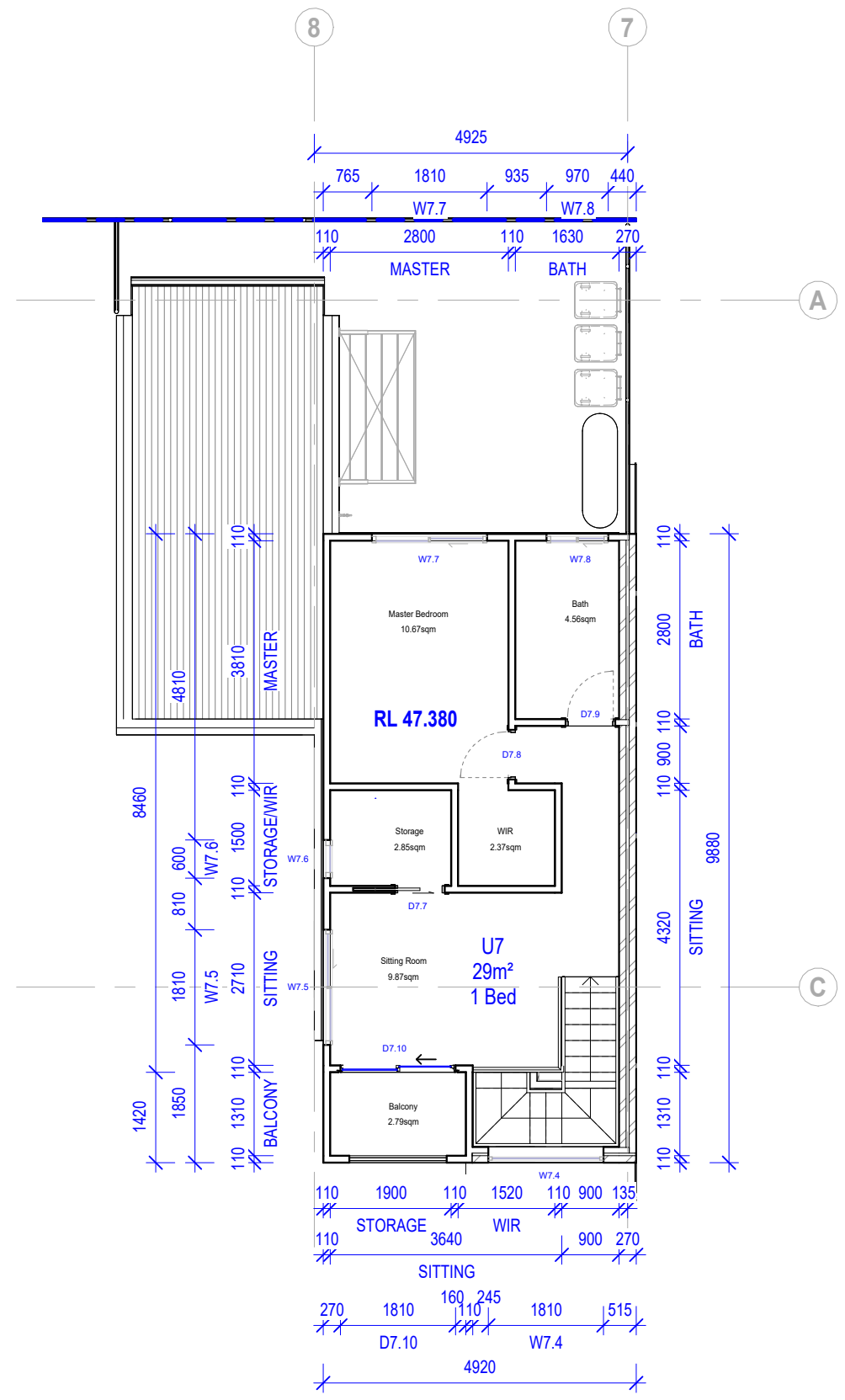


4/83-85 North Tce,
 Bankstown NSW 2200
 www.cedardesign.com.au
 info@cedardesign.com.au
 Phone: 0422 704 479
 A.B.N: 87 616 143 661
 Reg #: 2125/16

PROJECT NO: C2511



1 **A- Unit 7 - Ground Floor Dimension Plan**
1 : 100



2 **A- Unit 7 - First Floor Dimension Plan**
1 : 100

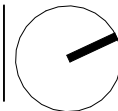
0008553280 13 Mar 2024
Assessor Jamie Bonnefin
Accreditation No. 10056
Address
8 Lang Road,
Casula, NSW,
2170
hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U7
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



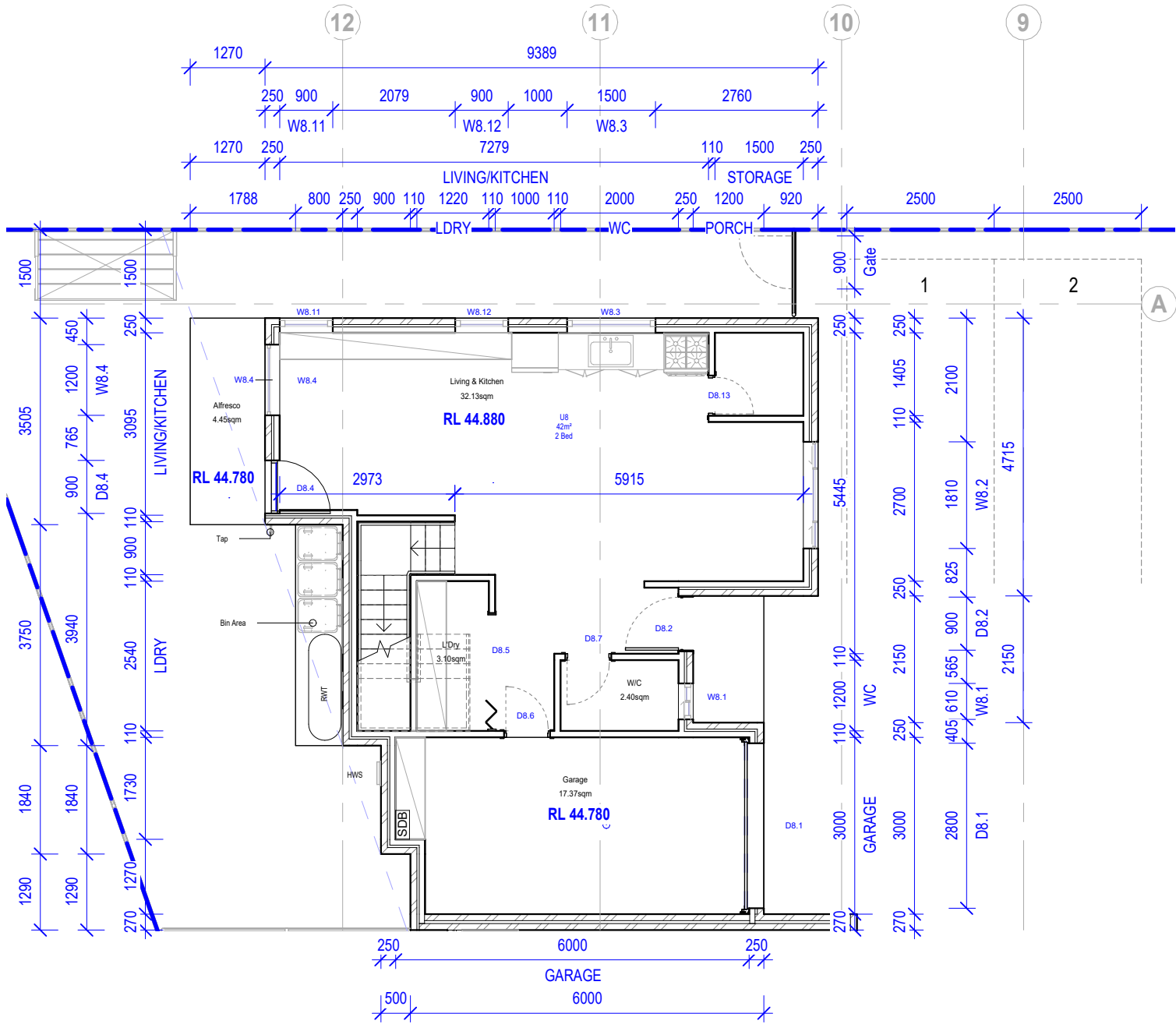
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1
SHEET NO: A7.7

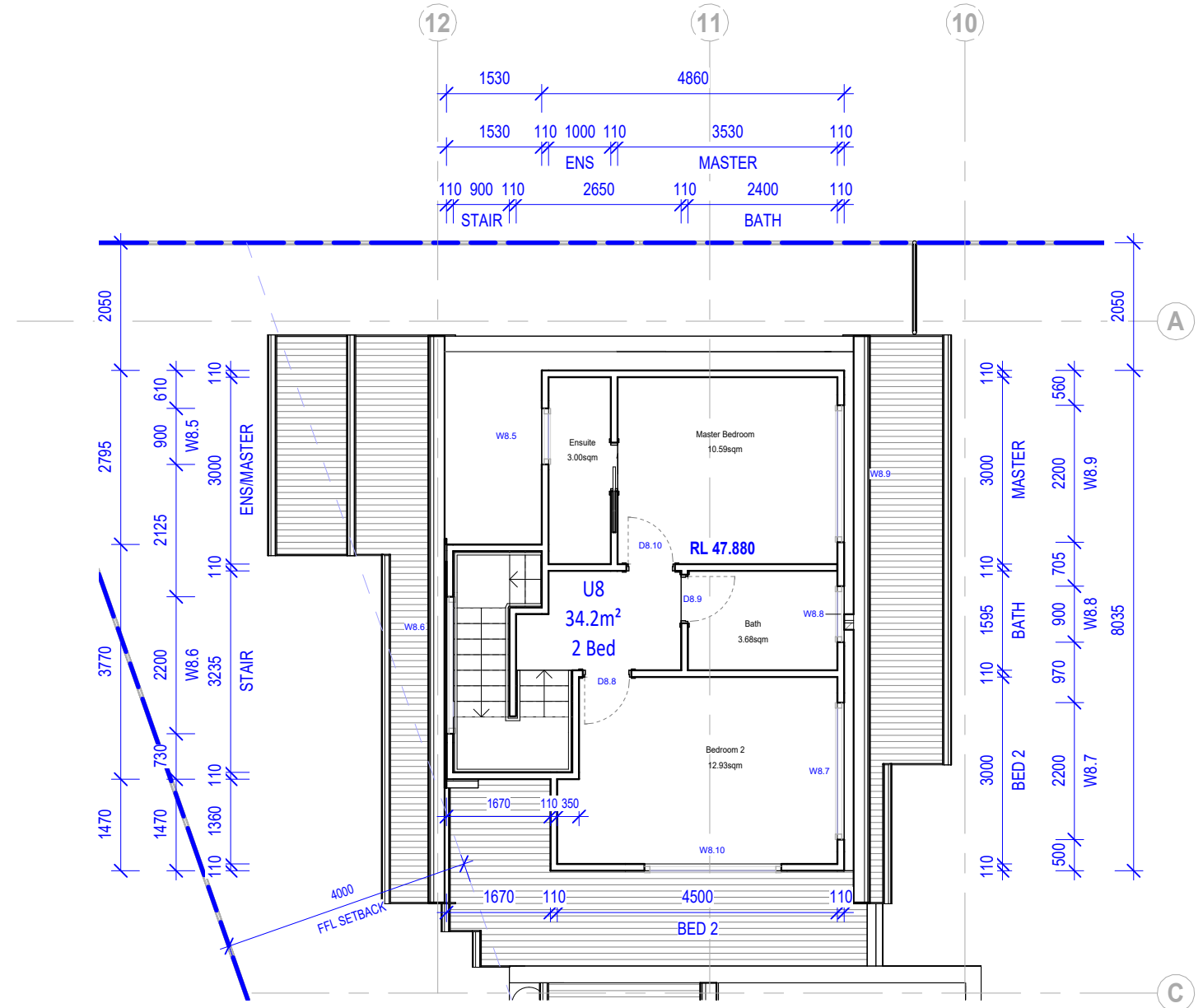


4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 **A- Unit 8 - Ground Floor Dimension Plan**
1 : 100



2 **A- Unit 8 - First Floor Dimension Plan**
1 : 100

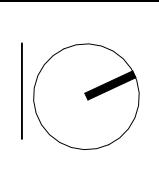
0008553280 13 Mar 2024
Assessor Jamie Bonnell
Accreditation No. 10056
Address
8 Lang Road,
Casula, NSW,
2170
hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

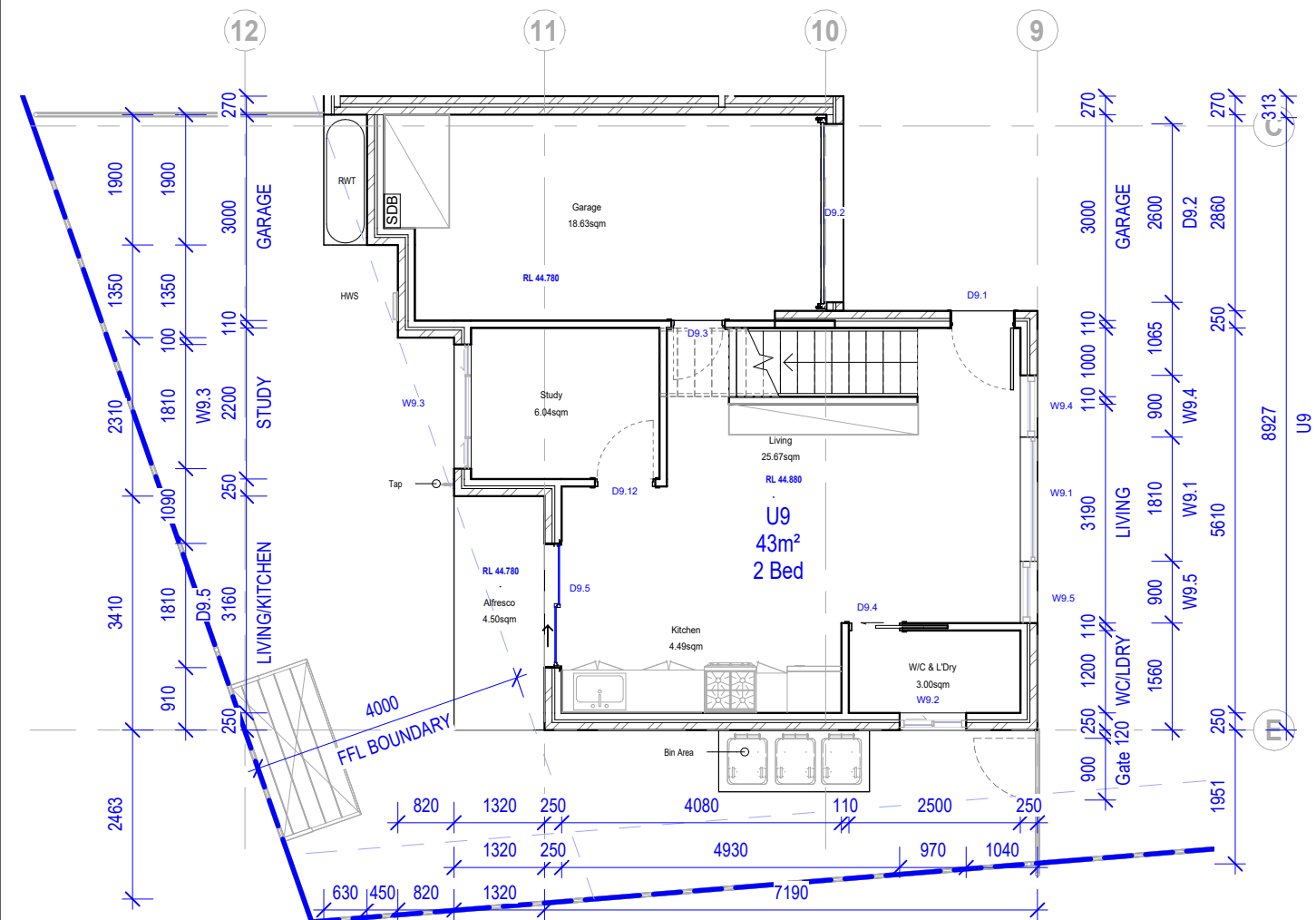
REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U8
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



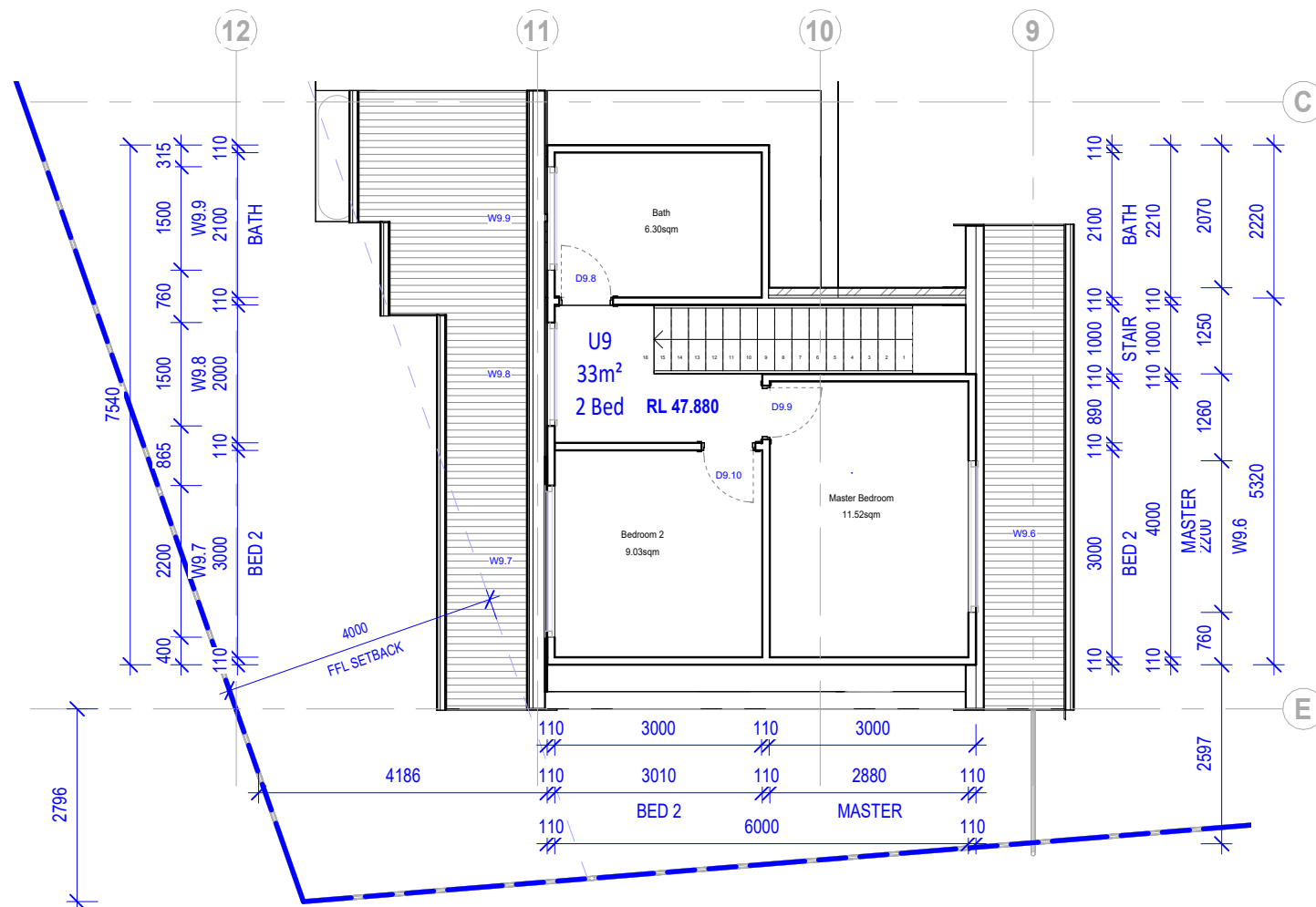
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1 SHEET NO: A7.8
CRETE-TECH DESIGN & CONSTRUCT
CEDAR
4/83-85 North Tce, Bankstown NSW 2200
www.cedar-design.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16
PROJECT NO: C2511



1 A- Unit 9 - Ground Floor Dimension Plan

1 : 100



2 A- Unit 9 - First Floor Dimension Plan

1 : 100



NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Dimension Plan U9
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864

COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100

DATE: March 2025

REV: 1

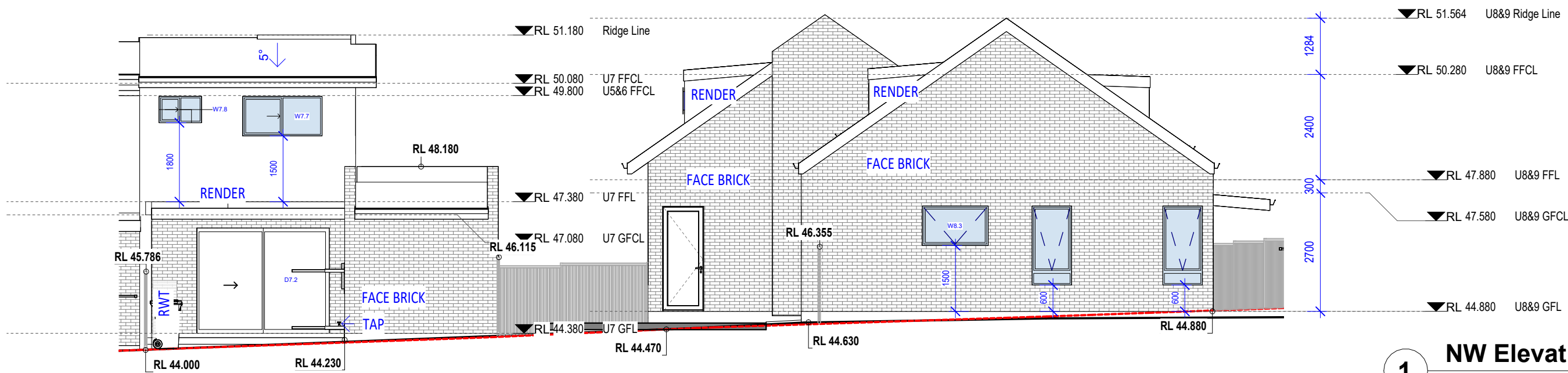
SHEET NO: A7.9



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511

Max Building Height

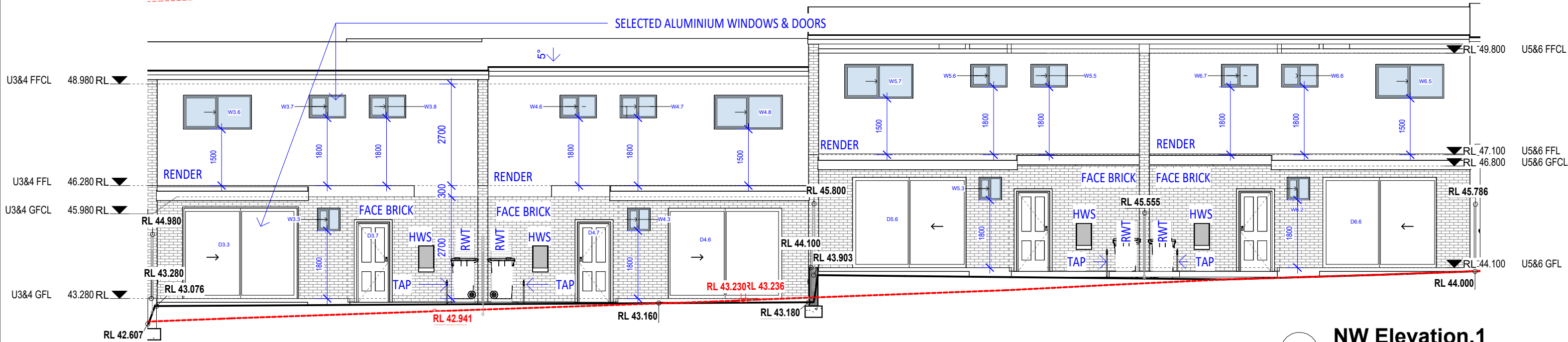


1 NW Elevation

1 : 100



Max Building Height



2 NW Elevation.1

1 : 100

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and signed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Elevations NW
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA: Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1 SHEET NO: A8



PROJECT NO: C2511



1 NW Elevation.2
1 : 100

0008553280 13 Mar 2024
Assessor Jamie Bonnetin
Accreditation No. 10056
Address
8 Lang Road,
Casula, NSW,
2170
hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Elevations NW
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

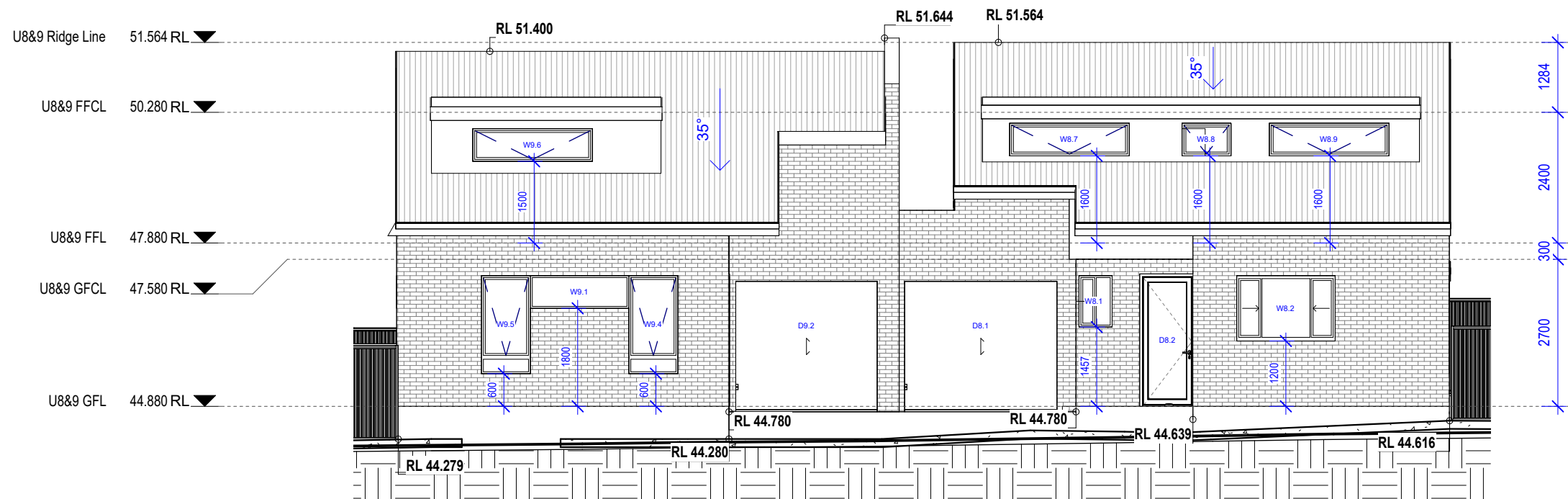
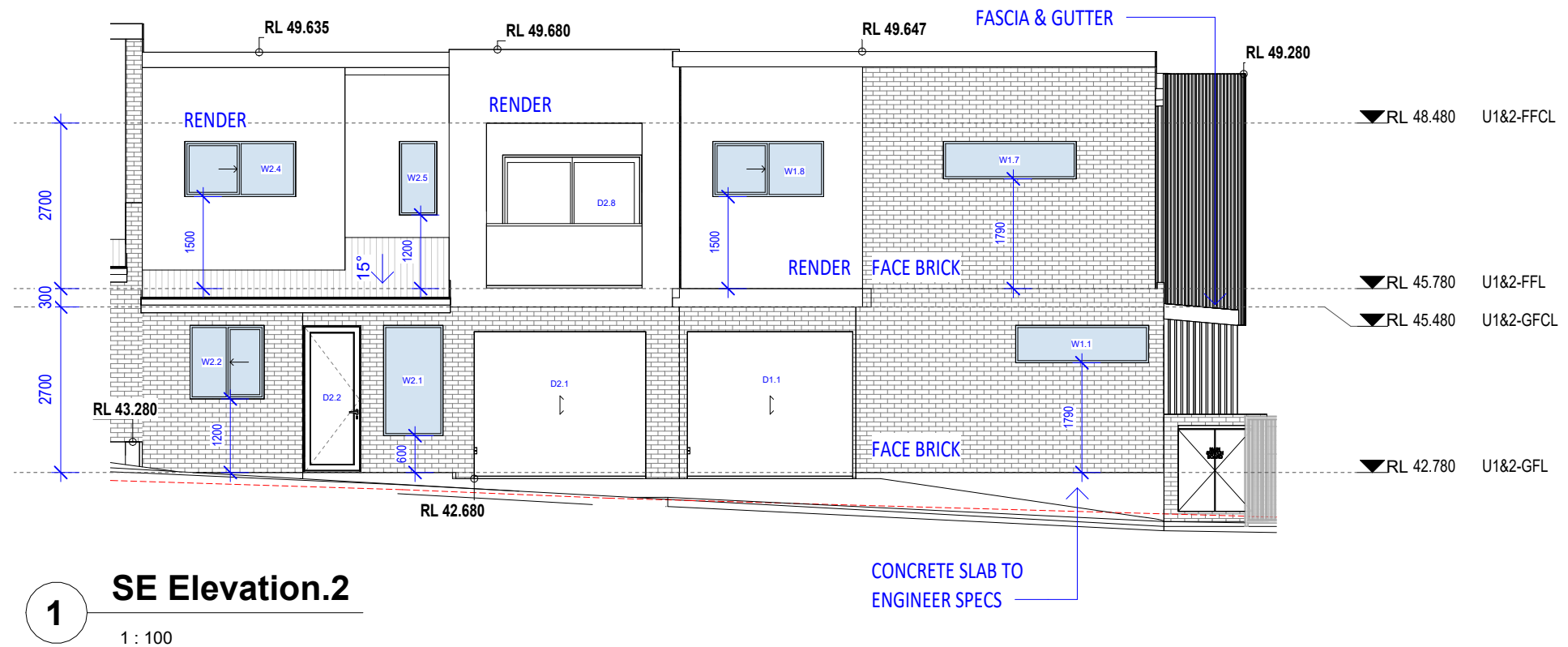
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1 SHEET NO: A8.1



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



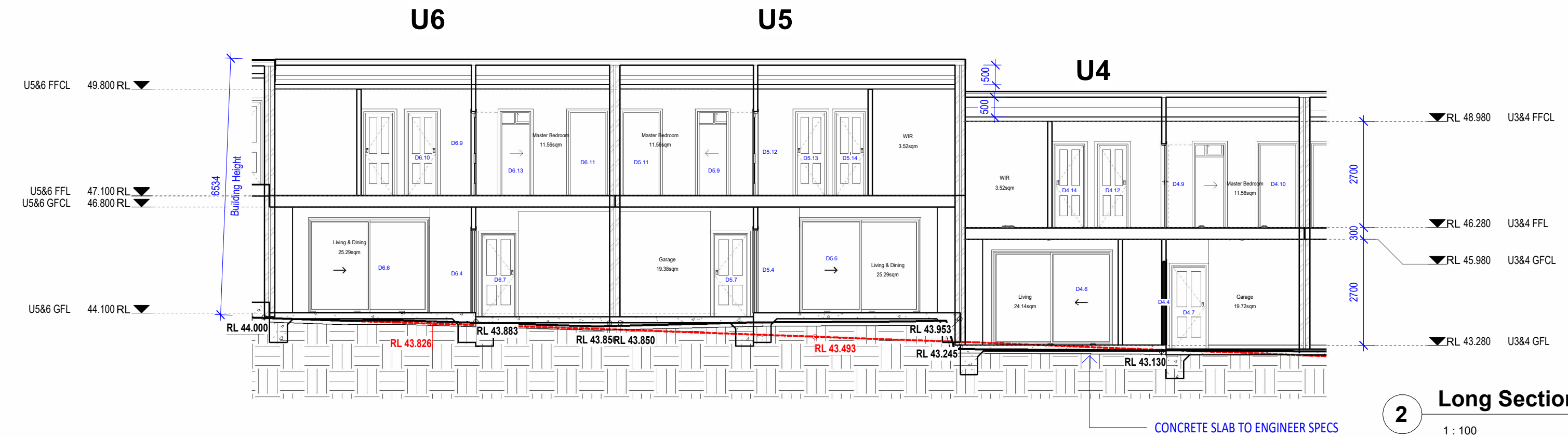
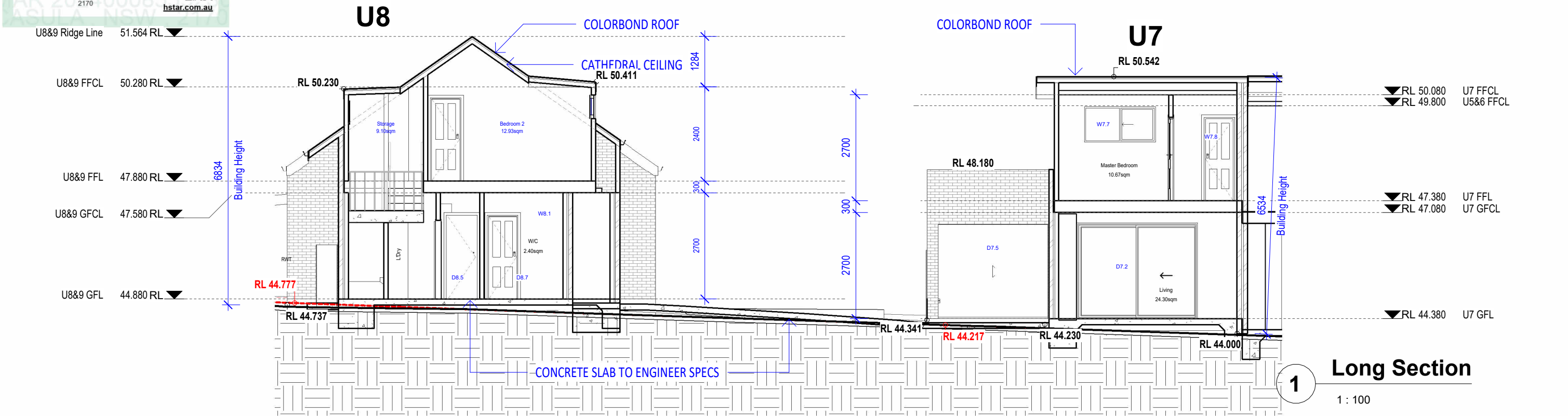
NOTE:
 * Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
 * Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
 * Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
 * All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
 * These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
 * These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

SITE ADDRESS: 8 Lang Rd, Casula
LOT 11 | SEC: | **DP:** 13864
ISSUED FOR: Issued for CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100 **DATE:** March 2025 **REV:** 1 **SHEET NO:** A8.3

PROJECT NO: C2511

PROJECT NO: C2511



NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Sections
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

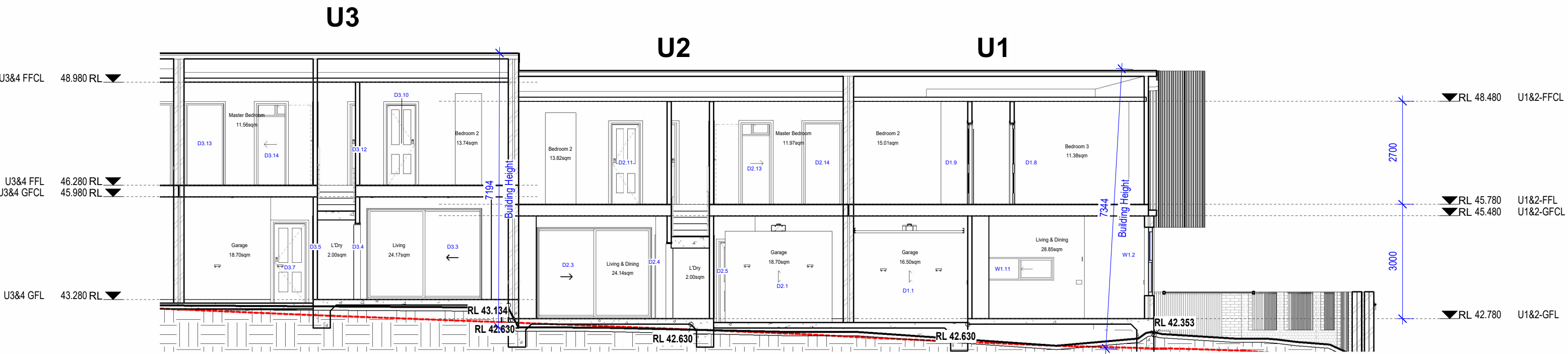
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1
SHEET NO: A9

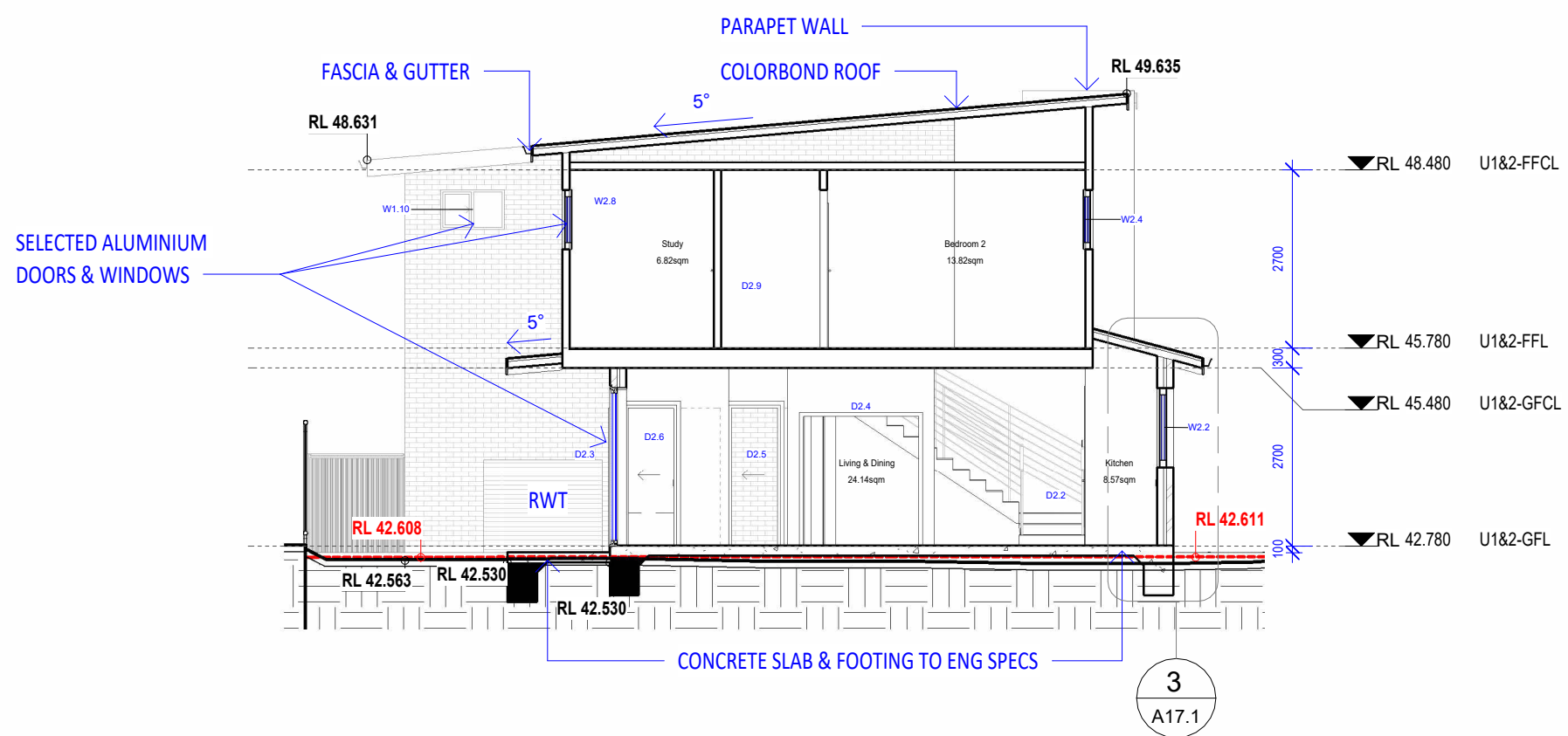


4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 Long Section.2
1 : 100



2 Cross Section
1 : 100

0008553280 13 Mar 2024
Assessor: Jamie Bonnefin
Accreditation No. 10056
Address: 8 Lang Road, Casula, NSW, 2170
hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Sections
DRAWN BY: K.Kabbout
CHECKED BY: K.Kabbout
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1 SHEET NO: A9.1

CRETE-TECH DESIGN & CONSTRUCT
CONCEPT TO REALITY

CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce, Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511

Door Schedule					
Mark	Frame Type	Height	Width	Finish	Frame Material

D1.1	ROLLER DOOR	2400	2700	STEEL	ALUMINIUM
D1.2	SWING	2340	900	ALUMINIUM	ALUMINIUM
D1.3	SLIDE	2400	3010	ALUMINIUM	ALUMINIUM
D1.4	FOLD	2000	1600	TIMBER	TIMBER
D1.5	SWING	2100	720	TIMBER	TIMBER
D1.6	SWING	2100	720	TIMBER	TIMBER
D1.7	SWING	2100	720	TIMBER	TIMBER
D1.8	SWING	2100	720	TIMBER	TIMBER
D1.9	SWING	2100	720	TIMBER	TIMBER
D1.10	FOLD	2000	900	TIMBER	TIMBER
D1.11	SWING	2100	720	TIMBER	TIMBER
D1.12	SWING	2100	720	TIMBER	TIMBER
D1.13	SLIDE	2100	700	TIMBER	TIMBER
D1.14	SLIDE	2100	700	TIMBER	TIMBER
D1.15	SLIDE	2143	2200	ALUMINIUM	ALUMINIUM
D2.1	ROLLER DOOR	2400	2800	STEEL	ALUMINIUM
D2.2	SWING	2340	900	ALUMINIUM	ALUMINIUM
D2.3	SLIDE	2400	3010	ALUMINIUM	ALUMINIUM
D2.4	FOLD	2000	1800	TIMBER	TIMBER
D2.5	SLIDE	2100	700	TIMBER	TIMBER
D2.6	SLIDE	2100	700	TIMBER	TIMBER
D2.7	SWING	2100	820	TIMBER	TIMBER
D2.8	SLIDE	2143	2200	ALUMINIUM	ALUMINIUM
D2.9	SWING	2100	720	TIMBER	TIMBER

Door Schedule					
Mark	Frame Type	Height	Width	Finish	Frame Material

D2.10	SWING	2100	720	TIMBER	TIMBER
D2.11	SWING	2100	720	TIMBER	TIMBER
D2.13	SLIDE	2100	700	TIMBER	TIMBER
D2.14	OPENING	2100	900	TIMBER	TIMBER
D2.15	SWING	2100	720	TIMBER	TIMBER
D3.1	ROLLER DOOR	2400	2800	STEEL	ALUMINIUM
D3.2	SWING	2340	900	ALUMINIUM	ALUMINIUM
D3.3	SLIDE	2400	3010	ALUMINIUM	ALUMINIUM
D3.4	FOLD	2000	1800	TIMBER	TIMBER
D3.5	SLIDE	2100	700	ALUMINIUM	ALUMINIUM
D3.6	SLIDE	2100	700	TIMBER	TIMBER
D3.7	SWING	2100	820	TIMBER	TIMBER
D3.8	SLIDE	2143	2200	ALUMINIUM	ALUMINIUM
D3.10	SWING	2100	720	TIMBER	TIMBER
D3.11	SWING	2100	720	TIMBER	TIMBER
D3.12	SWING	2100	720	TIMBER	TIMBER
D3.13	OPENING	2100	900	TIMBER	TIMBER
D3.14	SLIDE	2100	700	TIMBER	TIMBER
D3.15	SWING	2100	720	TIMBER	TIMBER
D4.1	ROLLER DOOR	2400	2800	STEEL	ALUMINIUM
D4.2	SWING	2340	900	ALUMINIUM	ALUMINIUM
D4.3	FOLD	2000	1800	TIMBER	TIMBER
D4.4	SLIDE	2100	700	TIMBER	TIMBER
D4.5	SLIDE	2100	700	TIMBER	TIMBER

BASIX Project Commitments		BASIX Number: 13850794_03	
Proposed:	Multi Dwelling		
Address:	8 Lang Road, Casula NSW 2170		
Lot No / DP:	1/131864		
Water			
Fixtures:	Specification		
Shower head rating	4 star (1-4.5 but < 6 L/min)		
Toilet rating	3 star		
Kitchen taps rating	3 star		
Bathroom taps rating	3 star		
Alternative water details			
Refrigerator tank size	Individual	200L	
Connected to:	Garden and lawn areas	Yes	
	All toilets	Yes	
	Laundry	No	
Thermal Comfort		Accreditation Number: NHER 10056	NumberS Number: 000853280
External walls	Requirements		
Fibro cavity panel direct fix	U1	Light colour	R2.7 Bulk + Anti-glare foil
Fibro cavity panel direct fix	U2 to U9	Medium colour	R2.7 Bulk + Anti-glare foil
Brick veneer	U2 to U9	Medium colour	R2.7 Bulk + Anti-glare foil
Cavity brick	U1, U2, U3, U4, U5, U6, U9	Medium colour	No insulation
Cavity brick	Partition Wall between U6, U7	Medium colour	R1.1 Bulk + Reflective both sides
Internal walls			
Cavity wall, direct fix plasterboard	Standard specification (excluding below)		
Cavity wall, direct fix plasterboard	U2, U3, U4, U5, U9, garage only	U6, garage and bath U7	R2.0 Bulk insulation
Partition walls			
Cavity brick	U1, U2, U3, U4, U5, U6, U9	No insulation	
Cavity brick	Partition Wall between U6, U7	R1.1 Bulk + Reflective both sides	
Ceiling			
External ceiling - Plasterboard	Standard specification		
Internal ceiling - Timber	Standard specification (excluding below)		
Internal ceiling - Timber	U7 only		R2.5 Bulk insulation
Roof			
Corrugated iron	Dark Colour (solar absorbance <0.70)		
Waterproofing membrane	R1.8 Bulk + Reflective side down, No air gap above (Airticon 75, 90mm)		
	Medium Colour (solar absorbance 0.475-0.7)		
	No insulation		
Floors			
Concrete slab on ground	Standard specification		
Suspended timber	Standard specification (excluding below)		
Suspended timber	U2, U3, U6, U7		R2.5 Bulk insulation
Windows			
Aluminium frame ALM-001-01	Standard awning glazing specification		
Aluminium frame ALM-002-01	Standard sliding and fixed glazing specification		
Aluminium frame ATB-005-03	U17: all awning		
Aluminium frame ATB-006-03	U17: all sliding and fixed glazing (excluding bath U7)		
Ceiling Penetrations			
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.		
Lighting specification	Dwelling is rated without downlight		
Ceiling fans	No ceiling fans need to be installed		
Overshadowing details			
	Adjoining units calculated into model calculations		
Site			
Orientation of nominal north elevation	As shown on plans		
Energy			
Hot water	Specification		
Individual system	Gas instantaneous		Rating 5 star
Ventilation			
Bathroom, Kitchen and laundry exhaust	Individual fan, ducted to facade or roof		
Control switch	Manual switch on/off		
Heating and Cooling			
Individual systems - living areas	3 phase airconditioning		EER < 4.0
Individual systems - bedroom areas	3 phase airconditioning		EER < 4.0
Appliances			
Cooktop/oven	Gas cooktop & electric oven		
Ventilated fridge space	Yes		
Private outdoor clothes drying line	Yes		
Private indoor or sheltered clothes drying line	Yes		



000855328013 Mar 2024

AssessorJamie Bonnefin

Accreditation No.10056

Address
8 Lang Road,
Casula, NSW,
2170


hstar.com.au



000855328013 Mar 2024

AssessorJamie Bonnefin

Accreditation No.10056

Address
8 Lang Road,
Casula, NSW,
2170


hstar.com.au

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

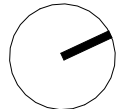
DRAWING TITLE: Door Schedules

DRAWN BY: K.Kabbout

CHECKED BY: M.Shafie

LOT: 11 | SEC: | DP:13864

COUNCIL AREA : Liverpool City Council



SITE ADDRESS:8 Lang Rd, Casula

CLIENT: Mr Fahda

ISSUED FOR: CC

PROJECT TYPE: Townhouses

SCALE:

DATE: March 2025

REV: 1

SHEET NO: A10



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg # 2125/16

PROJECT NO : C2511

Door Schedule					
Mark	Frame Type	Height	Width	Finish	Frame Material

D4.6	SLIDE	2400	3010	ALUMINIUM	ALUMINIUM
D4.7	SWING	2100	820	TIMBER	TIMBER
D4.8	SLIDE	2143	2200	ALUMINIUM	ALUMINIUM
D4.9	SWING	2100	720	TIMBER	TIMBER
D4.10	OPENING	2100	900	TIMBER	TIMBER
D4.11	SLIDE	2100	700	TIMBER	TIMBER
D4.12	SWING	2100	720	TIMBER	TIMBER
D4.13	SWING	2100	720	TIMBER	TIMBER
D4.14	SWING	2100	720	TIMBER	TIMBER
D5.1	ROLLER DOOR	2400	2800	STEEL	ALUMINIUM
D5.2	SWING	2340	900	ALUMINIUM	ALUMINIUM
D5.3	FOLD	2000	1800	TIMBER	TIMBER
D5.4	SLIDE	2100	700	TIMBER	TIMBER
D5.5	SLIDE	2100	700	TIMBER	TIMBER
D5.6	SLIDE	2400	3010	ALUMINIUM	ALUMINIUM
D5.7	SWING	2100	820	TIMBER	TIMBER
D5.8	SLIDE	2143	2200	ALUMINIUM	ALUMINIUM
D5.9	SLIDE	2100	700	TIMBER	TIMBER

Door Schedule					
Mark	Frame Type	Height	Width	Finish	Frame Material

D5.10	SWING	2100	720	TIMBER	TIMBER
D5.11	OPENING	2100	900	TIMBER	TIMBER
D5.12	SWING	2100	720	TIMBER	TIMBER
D5.13	SWING	2100	720	TIMBER	TIMBER
D5.14	SWING	2100	720	TIMBER	TIMBER
D6.1	ROLLER DOOR	2400	2800	STEEL	ALUMINIUM
D6.2	SWING	2340	900	ALUMINIUM	ALUMINIUM
D6.3	FOLD	2000	1800	TIMBER	TIMBER
D6.4	SLIDE	2100	700	TIMBER	TIMBER
D6.5	SLIDE	2100	700	TIMBER	TIMBER
D6.6	SLIDE	2400	3010	ALUMINIUM	ALUMINIUM
D6.7	SWING	2100	820	TIMBER	TIMBER
D6.8	SLIDE	2143	2200	ALUMINIUM	ALUMINIUM
D6.9	SWING	2100	720	TIMBER	TIMBER
D6.10	SWING	2100	720	TIMBER	TIMBER
D6.11	OPENING	2100	900	TIMBER	TIMBER
D6.12	SWING	2100	720	TIMBER	TIMBER

Door Schedule					
Mark	Frame Type	Height	Width	Finish	Frame Material

D6.13	SLIDE	2100	700	TIMBER	TIMBER
D6.14	SWING	2100	720	TIMBER	TIMBER
D7.1	SWING	2340	900	ALUMINIUM	ALUMINIUM
D7.2	SLIDE	2400	3010	ALUMINIUM	ALUMINIUM
D7.3	SWING	2100	720	TIMBER	TIMBER
D7.4	SLIDE	2100	700	TIMBER	TIMBER
D7.5	ROLLER DOOR	2400	2800	STEEL	ALUMINIUM
D7.7	SLIDE	2100	700	TIMBER	TIMBER
D7.8	SWING	2100	720	TIMBER	TIMBER
D7.9	SWING	2100	720	TIMBER	TIMBER
D7.10	SLIDE	2143	1810	ALUMINIUM	ALUMINIUM
D8.1	ROLLER DOOR	2400	2800	STEEL	ALUMINIUM
D8.2	SWING	2340	900	ALUMINIUM	ALUMINIUM
D8.4	SLIDE	2400	900	ALUMINIUM	ALUMINIUM
D8.5	FOLD	2000	2000	TIMBER	TIMBER
D8.6	SWING	2100	720	TIMBER	TIMBER
D8.7	SWING	2100	720	TIMBER	TIMBER

Door Schedule					
Mark	Frame Type	Height	Width	Finish	Frame Material

D8.8	SWING	2100	720	TIMBER	TIMBER
D8.9	SWING	2100	720	TIMBER	TIMBER
D8.10	SWING	2100	720	TIMBER	TIMBER
D8.11	SLIDE	2100	700	TIMBER	TIMBER
D8.13	SWING	2100	620	TIMBER	TIMBER
D9.1	SWING	2340	900	ALUMINIUM	ALUMINIUM
D9.2	ROLLER DOOR	2400	2600	STEEL	ALUMINIUM
D9.3	SWING	2100	720	TIMBER	TIMBER
D9.4	SLIDE	2100	700	TIMBER	TIMBER
D9.5	SLIDE	2143	1810	ALUMINIUM	ALUMINIUM
D9.8	SWING	2100	720	TIMBER	TIMBER
D9.9	SWING	2100	720	TIMBER	TIMBER
D9.10	SWING	2100	720	TIMBER	TIMBER
D9.12	SWING	2100	820	TIMBER	TIMBER

Grand total: 114

BASIX Project Comments		BASIX Number: 1385507M_03	
Proposed:	Multi Dwelling		
Address:	8 Lang Road, Casula NSW 2170		
Lot No / DP:	11/73864		
Water			
Features:	Specification		
Shower head rating	4 star (≥ 4.3 but < 6 L/min)		
Toilet rating	3 star		
Kitchen taps rating	3 star		
Bathroom taps rating	3 star		
Alternative water details			
Rainwater tank size	Individual	2000L	
Connected to: Garden and lawn areas	Yes		
All toilets	Yes		
Laundry	No		
Thermal Comfort		Accreditation Number: NERS 10056	NatHERS Number: 000553280
External walls		Requirements	
Fibro cavity panel direct fix	U1	Light colour	R2.7 Bulk + Anti-glare foil
Fibro cavity panel direct fix	U2 to U9	Medium colour	R2.7 Bulk + Anti-glare foil
Brick veneer	U2 to U9	Medium colour	R2.7 Bulk + Anti-glare foil
Cavity brick	U1, U2, U3, U4, U5, U6, U9	Medium colour	No insulation
Cavity brick	Partition Wall between U4, U7	Medium colour	R1.1 Bulk + Reflective both sides
Internal walls			
Cavity wall, direct fix plasterboard	Standard specification (excluding below)	No insulation	
Cavity wall, direct fix plasterboard	U2, U3, U4, U5, U9, garage only	R2.0 Bulk insulation	
	U6, garage and both 1st		
Partition walls			
Cavity brick	U1, U2, U3, U4, U5, U6, U9	No insulation	
Cavity brick	Partition Wall between U4, U7	R1.1 Bulk + Reflective both sides	
Ceiling			
External ceiling - Plasterboard	Standard specification	R6.0 Bulk insulation	
Internal ceiling - Timber	Standard specification (excluding below)	No insulation	
Internal ceiling - Timber	U7 only	R2.5 Bulk insulation	
Roof			
Corrugated iron		Dark Colour (solar absorbance <0.70)	
Waterproofing membrane		R1.8 Bulk + Reflective side down, No air gap above (Anticon 75, 80mm)	
		Medium Colour (solar absorbance 0.475-0.71)	
		No insulation	
Floors			
Concrete slab on ground	Standard specification	No insulation	
Suspended timber	Standard specification (excluding below)	No insulation	
Suspended timber	U2, U3, U6, U7	R2.5 Bulk insulation	
Windows			
Aluminium frame ALM-001-01	Standard awning glazing specification	Single Clear glazing with U-value 6.70 and SHGC 0.57 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)	
Aluminium frame ALM-002-01	Standard sliding and fixed glazing specification	Single Clear glazing with U-value 6.7 and SHGC 0.7 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)	
Aluminium frame ALM-005-03	U7: all awning	Double argon fill low-e glazing with U-value 2.91 and SHGC 0.44 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)	
Aluminium frame ATB-006-03	U7: all sliding and fixed glazing (excluding bath 3F)	Double argon fill low-e glazing with U-value 2.9 and SHGC 0.51 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)	
Ceiling Penetrations			
Downlight Covers		Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.	
Lighting specification		Dwelling is rated without downlight	
Ceiling fans		No ceiling fans need to be installed	
Overshadowing details		Adjoining units calculated into model calculations	
Site			
Orientation of nominal north elevation		As shown on plans	
Energy			
Hot water	Specification	Rating	
Individual system	Gas instantaneous	6 star	
Ventilation			
Bathroom, kitchen and laundry exhaust		Individual fan, ducted to facade or roof	
Control switch		Manual switch on/off	
Heating and Cooling			
Individual systems - living areas		3 phase air conditioning	EER > 4.0
Individual systems - bedroom areas		3 phase air conditioning	EER > 4.0
Appliances			
Cooktop/oven		Gas cooktop & electric oven	
Ventilated fridge space		Yes	
Private outdoor clothes drying line		Yes	
Private indoor or sheltered clothes drying line		Yes	



Window Schedule						
Mark	Level	Window Style	Height	Width	Material	Glazing

W1.1	U1&2-GFL	AWNING	610	2170	ALUMINIUM	Obscured
W1.2	U1&2-GFL	AWNING	1800	610	ALUMINIUM	CLEAR
W1.3	U3&4 GFL	AWNING	1800	610	ALUMINIUM	CLEAR
W1.4	U1&2-GFL	SLIDING	600	970	ALUMINIUM	Obscured
W1.5	U1&2-FFL	SLIDING	900	1550	ALUMINIUM	CLEAR
W1.6	U1&2-FFL	AWNING	1800	1210	ALUMINIUM	CLEAR
W1.7	U1&2-FFL	AWNING	610	2170	ALUMINIUM	CLEAR
W1.8	U1&2-FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W1.9	U1&2-FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W1.10	U1&2-FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W1.11	U1&2-GFL	SLIDING	600	1810	ALUMINIUM	CLEAR
W1.12	U1&2-GFL	FIXED	1800	970	ALUMINIUM	Obscured
W1.13	U1&2-FFL	FIXED	1800	970	ALUMINIUM	Obscured
W2.1	U1&2-GFL	AWNING	1800	970	ALUMINIUM	Obscured
W2.2	U1&2-GFL	SLIDING	1200	1210	ALUMINIUM	CLEAR
W2.3	U1&2-GFL	SLIDING	600	970	ALUMINIUM	Obscured
W2.4	U1&2-FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W2.5	U1&2-FFL	AWNING	1200	610	ALUMINIUM	CLEAR
W2.6	U1&2-FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W2.7	U1&2-FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W2.8	U1&2-FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W3.1	U3&4 GFL	AWNING	1800	970	ALUMINIUM	Obscured
W3.2	U3&4 GFL	SLIDING	1200	1210	ALUMINIUM	CLEAR
W3.3	U3&4 GFL	SLIDING	600	600	ALUMINIUM	Obscured
W3.4	U3&4 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W3.5	U3&4 FFL	AWNING	1200	610	ALUMINIUM	CLEAR
W3.6	U3&4 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W3.7	U3&4 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W3.8	U3&4 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W4.1	U3&4 GFL	AWNING	1800	970	ALUMINIUM	Obscured
W4.2	U3&4 GFL	SLIDING	1200	1210	ALUMINIUM	CLEAR
W4.3	U3&4 GFL	SLIDING	600	600	ALUMINIUM	Obscured
W4.4	U3&4 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W4.5	U3&4 FFL	AWNING	1200	610	ALUMINIUM	CLEAR
W4.6	U3&4 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W4.7	U3&4 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W4.8	U3&4 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W5.1	U5&6 GFL	AWNING	1800	970	ALUMINIUM	Obscured
W5.3	U5&6 GFL	SLIDING	600	600	ALUMINIUM	Obscured
W5.4	U5&6 FFL	AWNING	1200	610	ALUMINIUM	CLEAR
W5.5	U5&6 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W5.6	U5&6 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W5.7	U5&6 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W5.8	U5&6 GFL	SLIDING	1200	1210	ALUMINIUM	CLEAR
W5.9	U5&6 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR

Window Schedule						
Mark	Level	Window Style	Height	Width	Material	Glazing

W6.1	U5&6 GFL	AWNING	1800	970	ALUMINIUM	Obscured
W6.2	U5&6 GFL	SLIDING	600	600	ALUMINIUM	Obscured
W6.3	U5&6 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W6.4	U5&6 FFL	AWNING	1200	610	ALUMINIUM	CLEAR
W6.5	U5&6 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W6.6	U5&6 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W6.7	U5&6 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W6.8	U5&6 GFL	SLIDING	1200	1210	ALUMINIUM	CLEAR
W7.1	U7 GFL	AWNING	1800	610	ALUMINIUM	CLEAR
W7.2	U7 GFL	AWNING	1800	610	ALUMINIUM	Obscured
W7.3	U7 GFL	SLIDING	1200	1210	ALUMINIUM	CLEAR
W7.4	U7 FFL	AWNING	600	1810	ALUMINIUM	CLEAR
W7.5	U7 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W7.6	U7 FFL	AWNING	900	600	ALUMINIUM	CLEAR
W7.7	U7 FFL	SLIDING	900	1810	ALUMINIUM	CLEAR
W7.8	U7 FFL	SLIDING	600	970	ALUMINIUM	CLEAR
W8.1	U8&9 GFL	SLIDING	943	610	ALUMINIUM	Obscured
W8.2	U8&9 GFL	SLIDING	1200	1810	ALUMINIUM	CLEAR
W8.3	U8&9 GFL	AWNING	900	1500	ALUMINIUM	CLEAR
W8.4	U8&9 GFL	AWNING	600	1200	ALUMINIUM	CLEAR
W8.5	U8&9 FFL	AWNING	600	900	ALUMINIUM	Obscured
W8.6	U8&9 FFL	FIXED	600	2200	ALUMINIUM	Obscured
W8.7	U8&9 FFL	AWNING	600	2200	ALUMINIUM	CLEAR
W8.8	U8&9 FFL	AWNING	600	900	ALUMINIUM	Obscured
W8.9	U8&9 FFL	AWNING	600	2200	ALUMINIUM	CLEAR
W8.10	U8&9 FFL	AWNING	600	2200	ALUMINIUM	CLEAR
W8.11	U8&9 GFL	AWNING	1800	900	ALUMINIUM	CLEAR
W8.12	U8&9 GFL	AWNING	1800	900	ALUMINIUM	CLEAR
W9.1	U8&9 GFL	SLIDING	600	1810	ALUMINIUM	CLEAR
W9.2	U8&9 GFL	SLIDING	600	970	ALUMINIUM	CLEAR
W9.3	U8&9 GFL	SLIDING	1200	1810	ALUMINIUM	CLEAR
W9.4	U8&9 GFL	AWNING	1800	900	ALUMINIUM	CLEAR
W9.5	U8&9 GFL	AWNING	1800	900	ALUMINIUM	CLEAR
W9.6	U8&9 FFL	AWNING	600	2200	ALUMINIUM	CLEAR
W9.7	U8&9 FFL	AWNING	600	2200	ALUMINIUM	CLEAR
W9.8	U8&9 FFL	AWNING	600	1500	ALUMINIUM	CLEAR
W9.9	U8&9 FFL	AWNING	600	1500	ALUMINIUM	Obscured

Grand total: 82

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.



4/83-85 North Toe, Bankstown 2200
www.cedaresign.com.au
info@cedaresign.com.au
A.B.N: 87 616 143 661
Phone: 0422 704 479



Reg #: 2125/16

SITE ADDRESS: 8 Lang Rd, Casula
LOT 11 | SEC: | DP:13864
ISSUED FOR: Issued for CC

PROJECT TYPE: Townhouses

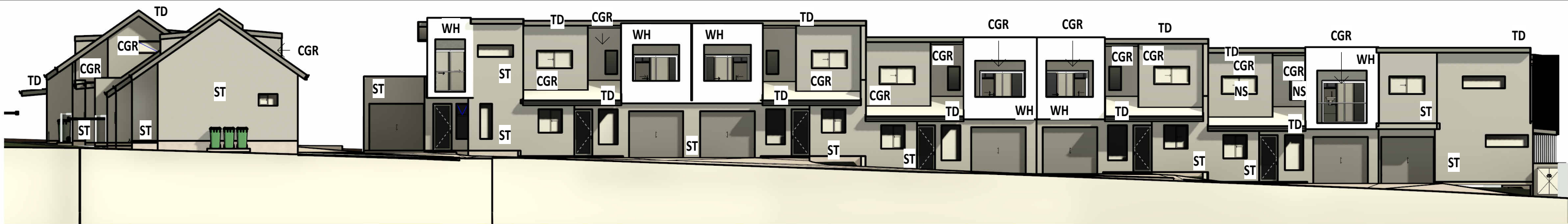
SCALE:

DATE: March 2025

REV: 1

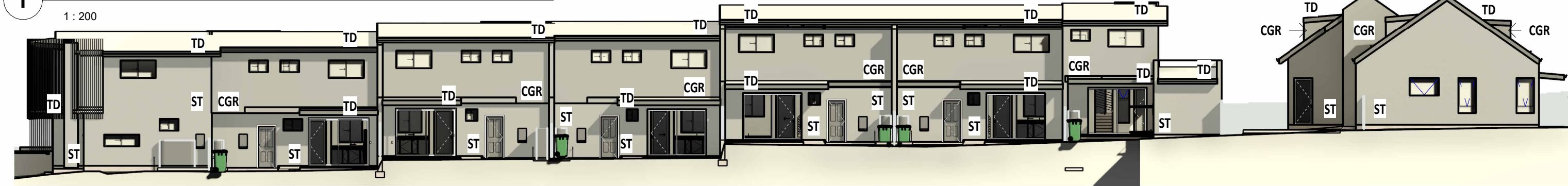
SHEET NO: A11

PROJECT NO.: C2511



1 SE ELEVATION - MATERIAL SCHEDULE

1 : 200



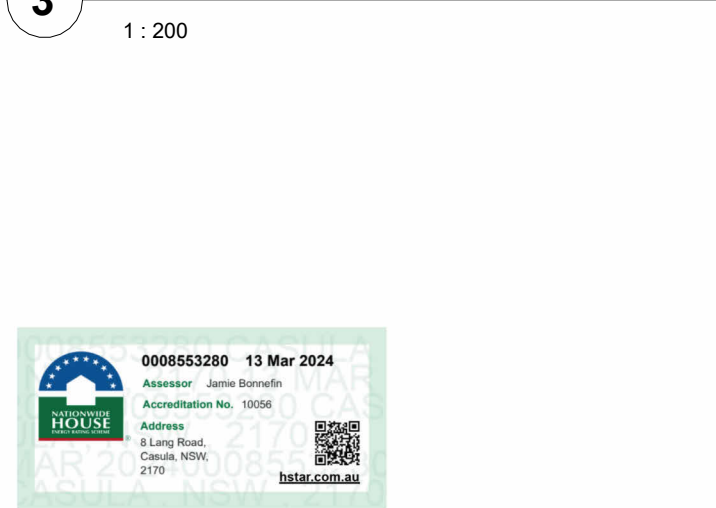
2 NW Elevation - Material Schedule

1 : 200



3 NE Elevation - Material Schedule

1 : 200



4 SW Elevation - Material Schedule

1 : 200



EXTERNAL COLORS AND FINISHES SCHEDULE

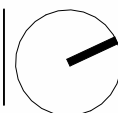
WH: WHITE HAVEN OR SIMILAR RENDERED WALL	
CGR: JAMES HARDIE CITY GREY OR SIMILAR EXTERNAL WALL 2	
TD: MINI ORB MONUMENT COLORBOND ROOF, FASCIA & GUTTER	
ST: AUSTRAL BRICK PLATINUM OR SIMILAR FACE BRICK WALL	
NS: ALUMINIUM POWDER COATED SILVER OR SIMILAR ALUMINUM DOORS & WINDOWS	

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Material Schedule
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | **DP:13864**
COUNCIL AREA : Liverpool City Council

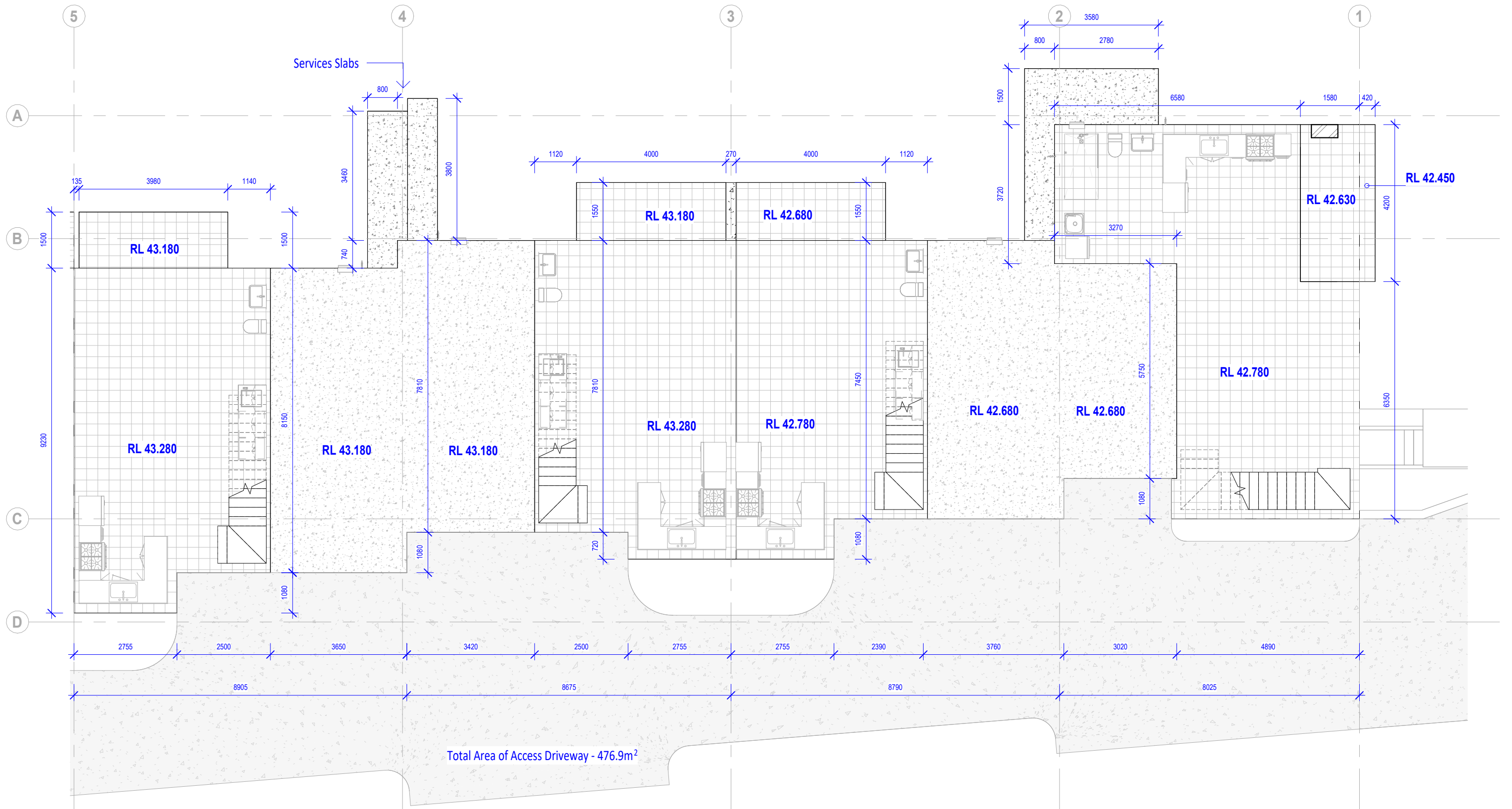


SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: As indicated **DATE:** March 2025

REV: 1 **SHEET NO:** A12



PROJECT NO: C2511



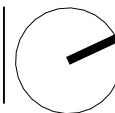
1 A- GFL Slab Plan U1-4
1 : 100

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: GFL Slab Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

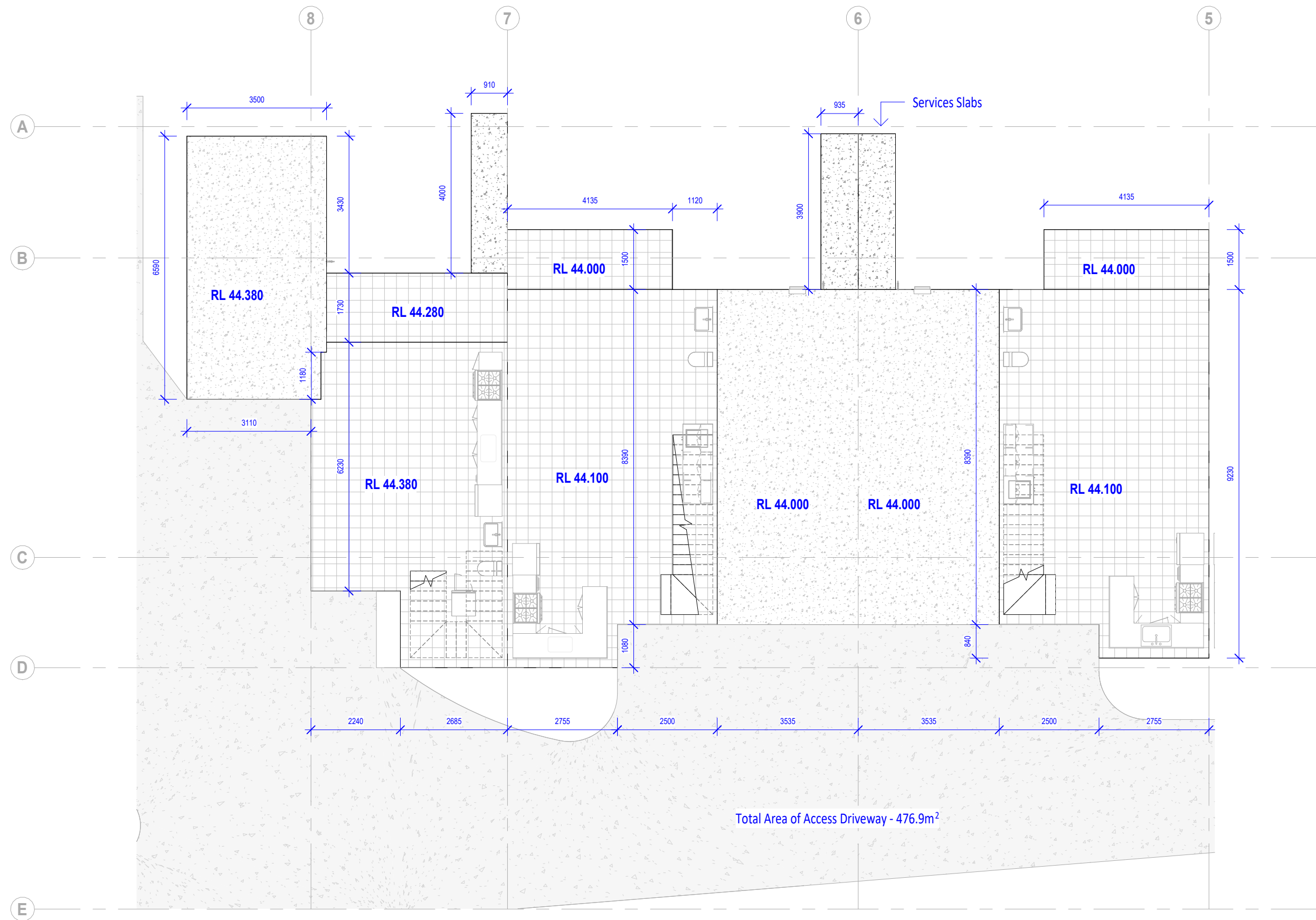
REV: 1

SHEET NO: A13



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



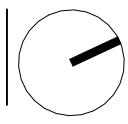
1 A- GFL Slab Plan U5-7 1 : 100

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: GFL Slab Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025



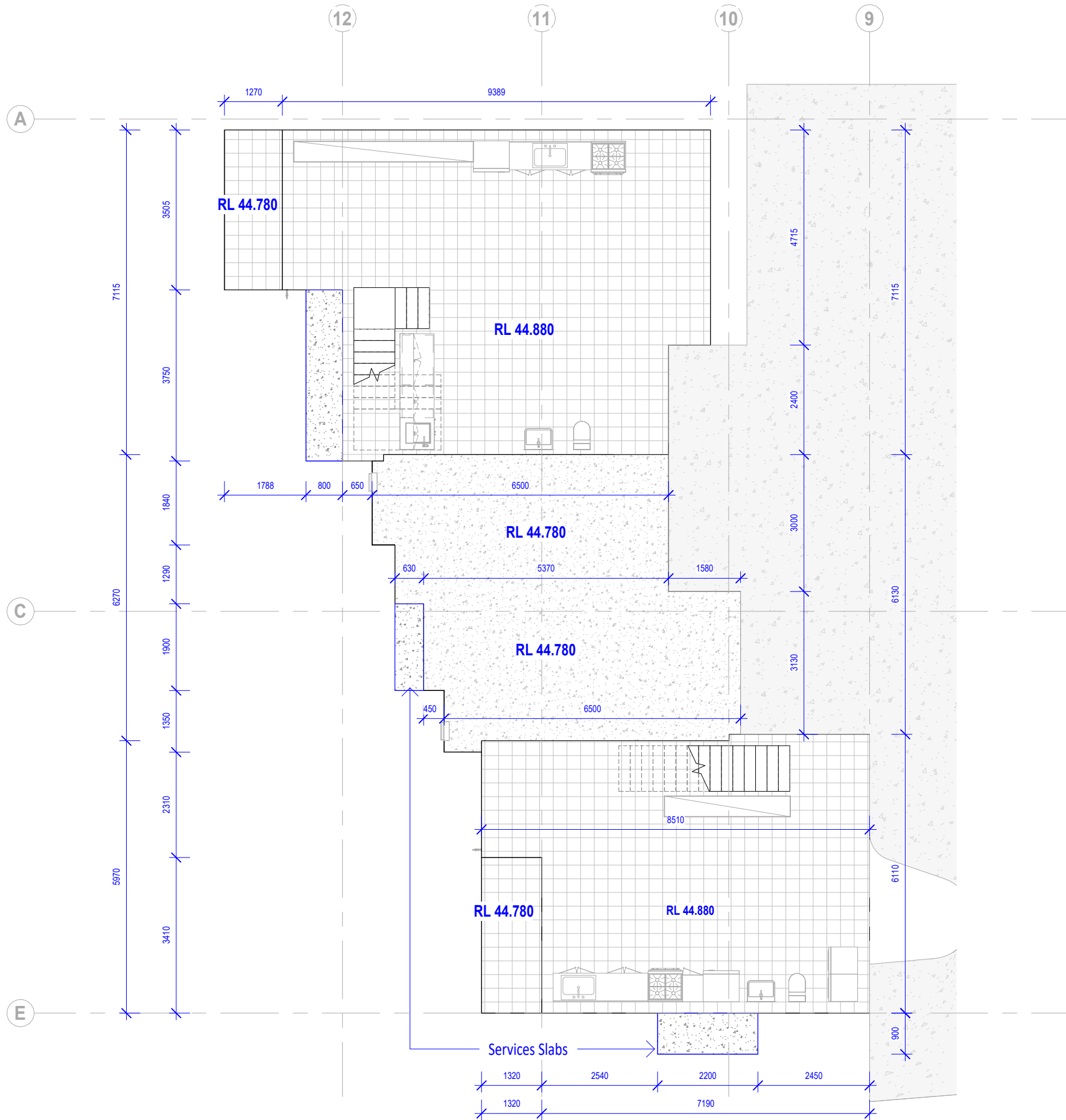
CRETE-TECH
DESIGN & CONSTRUCT



CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 A- GFL Slab Plan U8,9

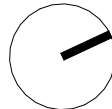
1 : 100

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: GFL Slab Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



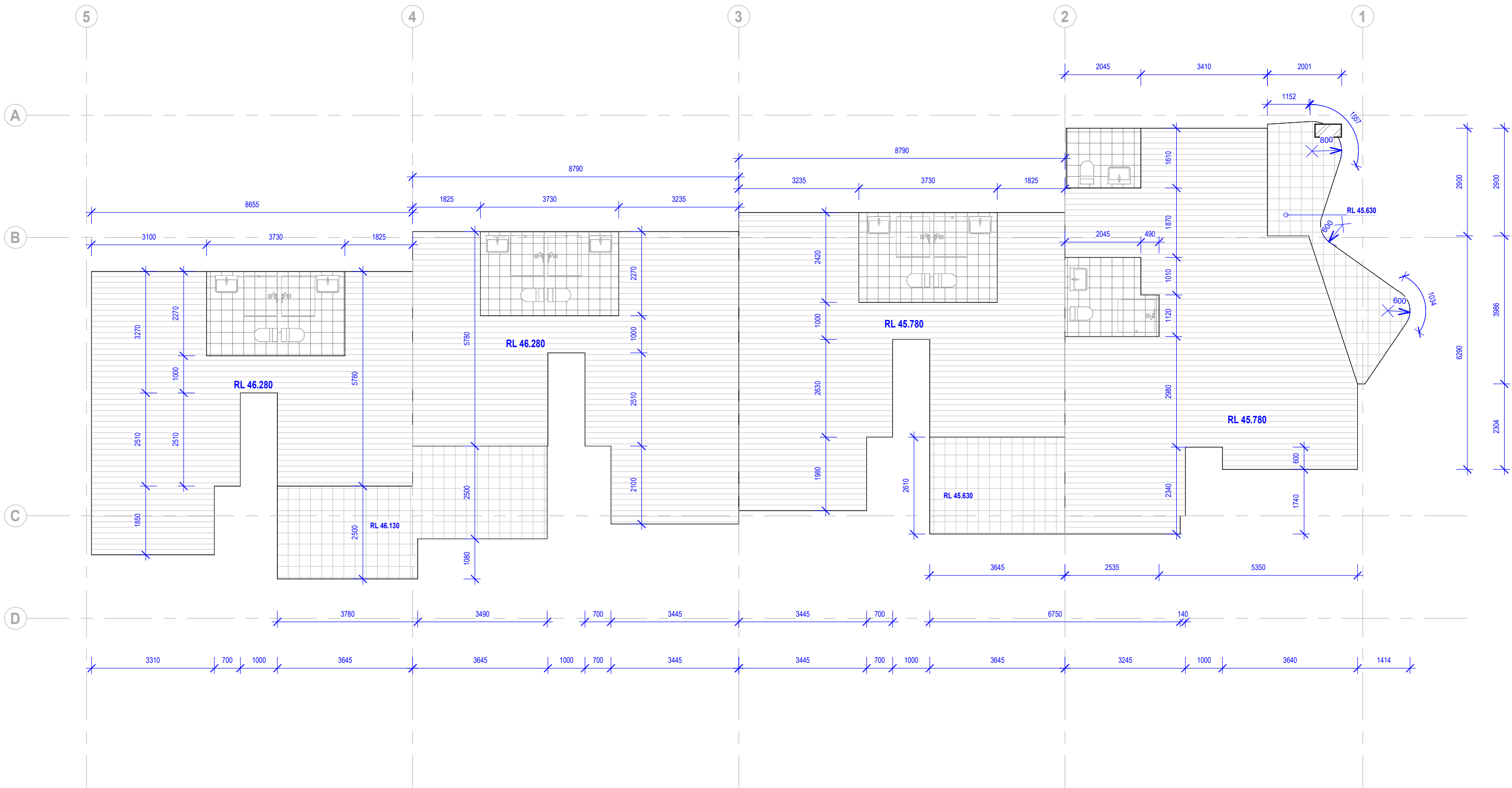
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1 SHEET NO: A13.2

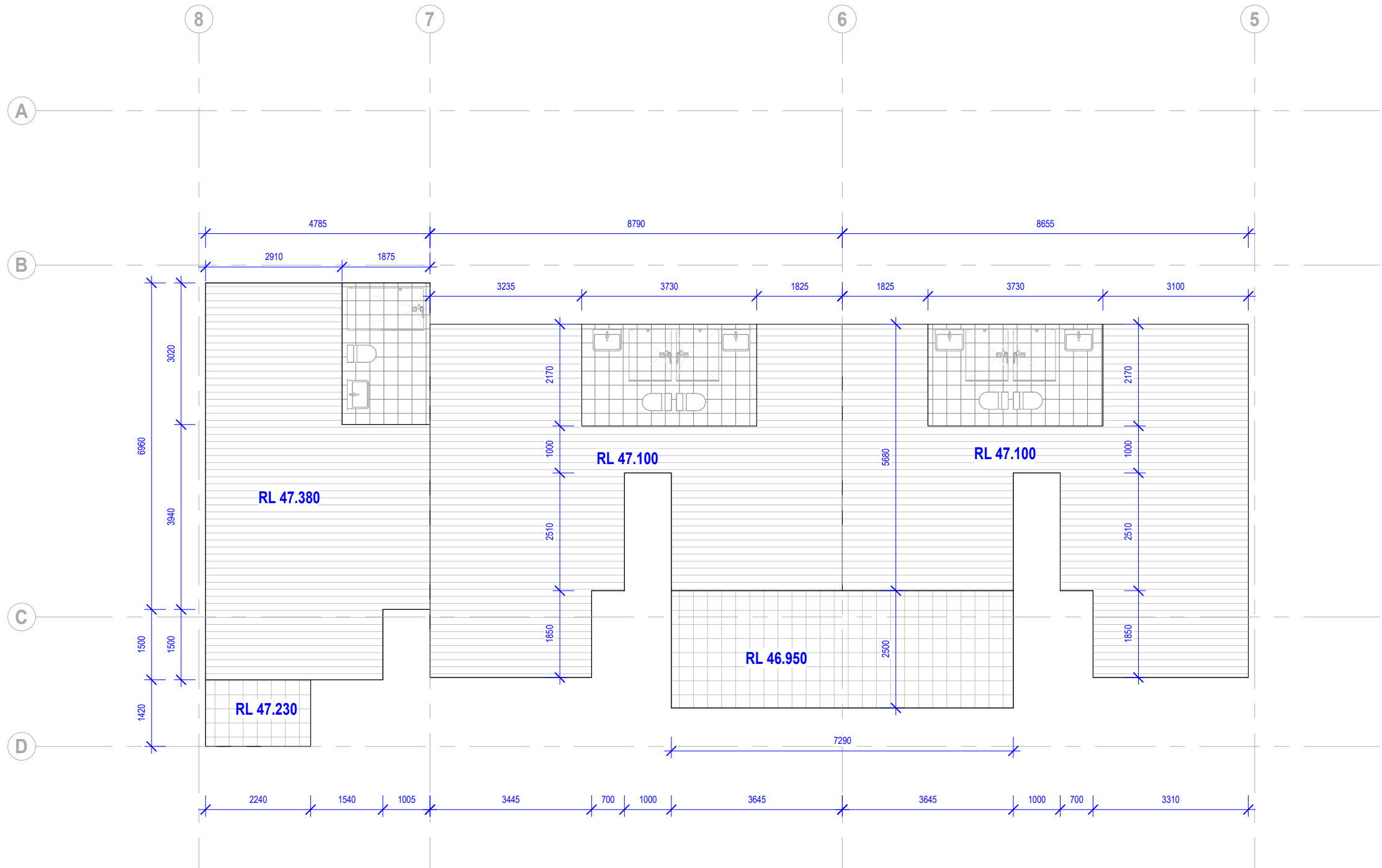


4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 A- FF Slab Plan Overview U1-4
1 : 100



1 A- FF Slab Plan Overview U5-7

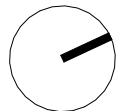
1 : 100

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: FFL Slab Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



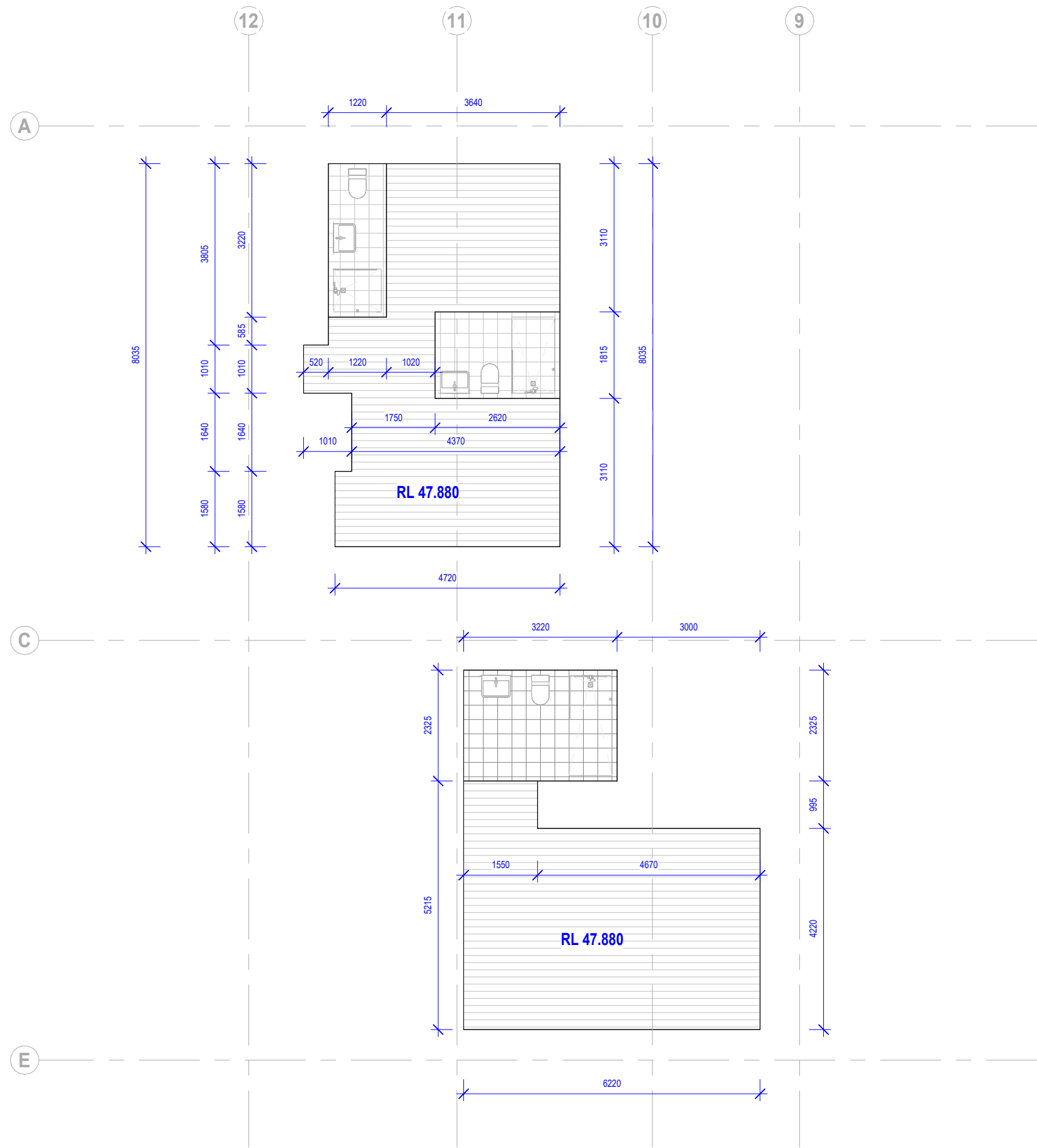
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100
DATE: March 2025
REV: 1
SHEET NO: A14.1



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



A- FF Slab Plan Overview U8,9

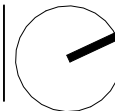
1

1 : 100

NOTE: * Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents. * Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work. * Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for. * All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards * These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor. * These documents may only be used for the purposes for which they were commissioned and in accordance with the Terms of Engagement.	
CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: FFL Slab Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



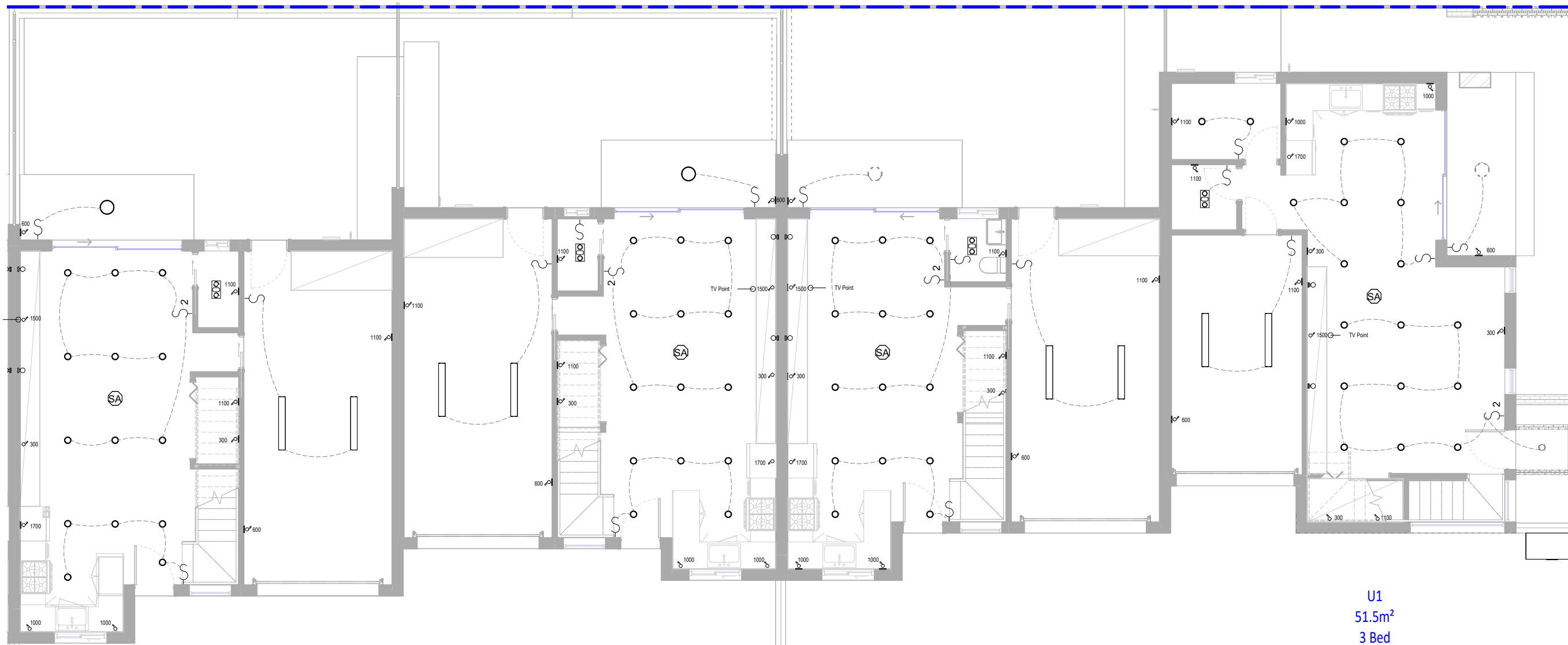
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100
DATE: March 2025

REV: 1
SHEET NO: A14.2



PROJECT NO: C2511



U4
47.8m²
2 Bed

U3
46.5m²
2 Bed

U2
44.2m²
2 Bed

U1
51.5m²
3 Bed

Electrical Plan Legend:

- Wall Switch
- GPO
- LED Downlight
- LED Wall Light
- LED, Heater, Fan Exhaust
- Batten Light
- Smoke Alarm

1

A- GFL U1-4 Electrical & Lighting Plan

1 : 100

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: GFL U1-4 Electrical & Lighting Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864

COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100

DATE: March 2025

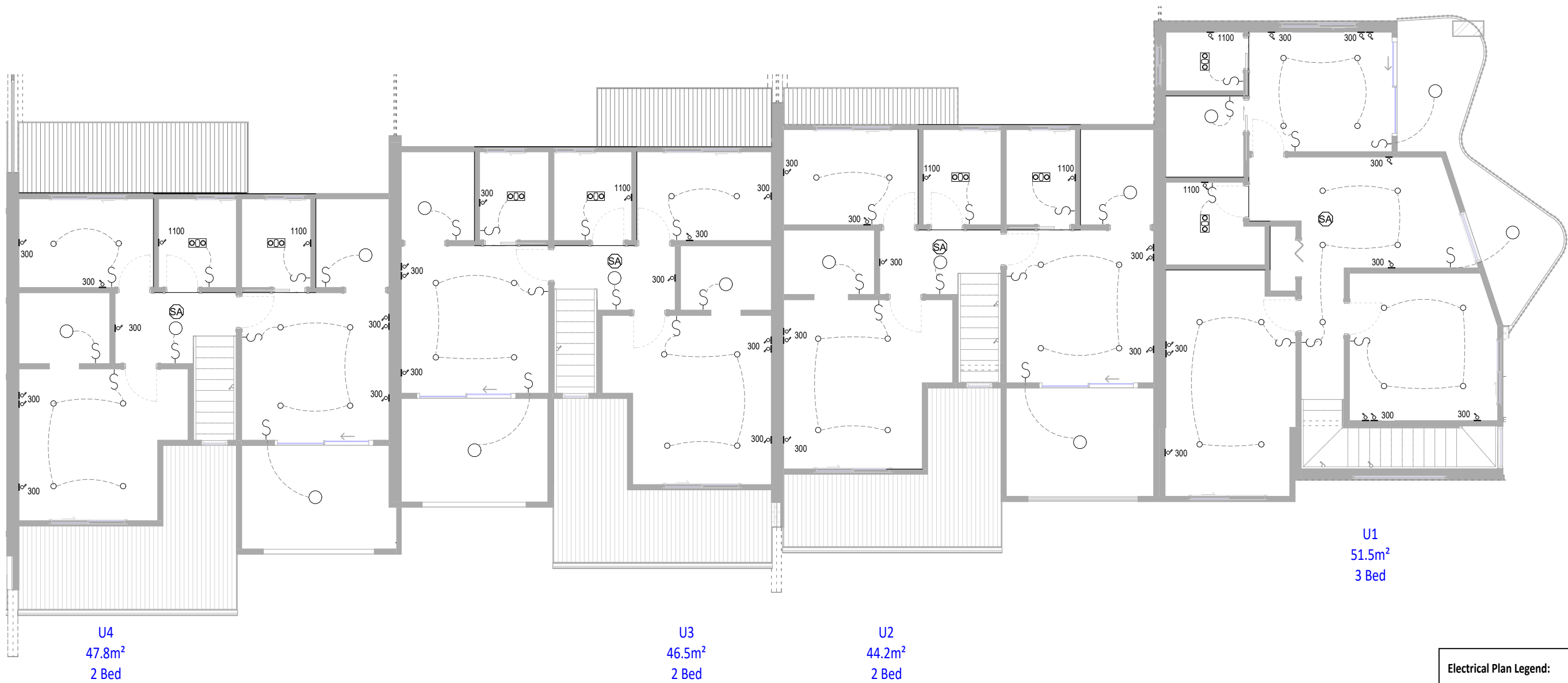
REV: 1

SHEET NO: A15



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 A- FF U1-4 Electrical & Lighting Plan

1 : 100

Electrical Plan Legend:	
	Wall Switch
	GPO
	LED Downlight
	LED Wall Light
	LED, Heater, Fan Exhaust
	Batten Light
	Smoke Alarm

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: FF U1-4 Electrical & Lighting Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

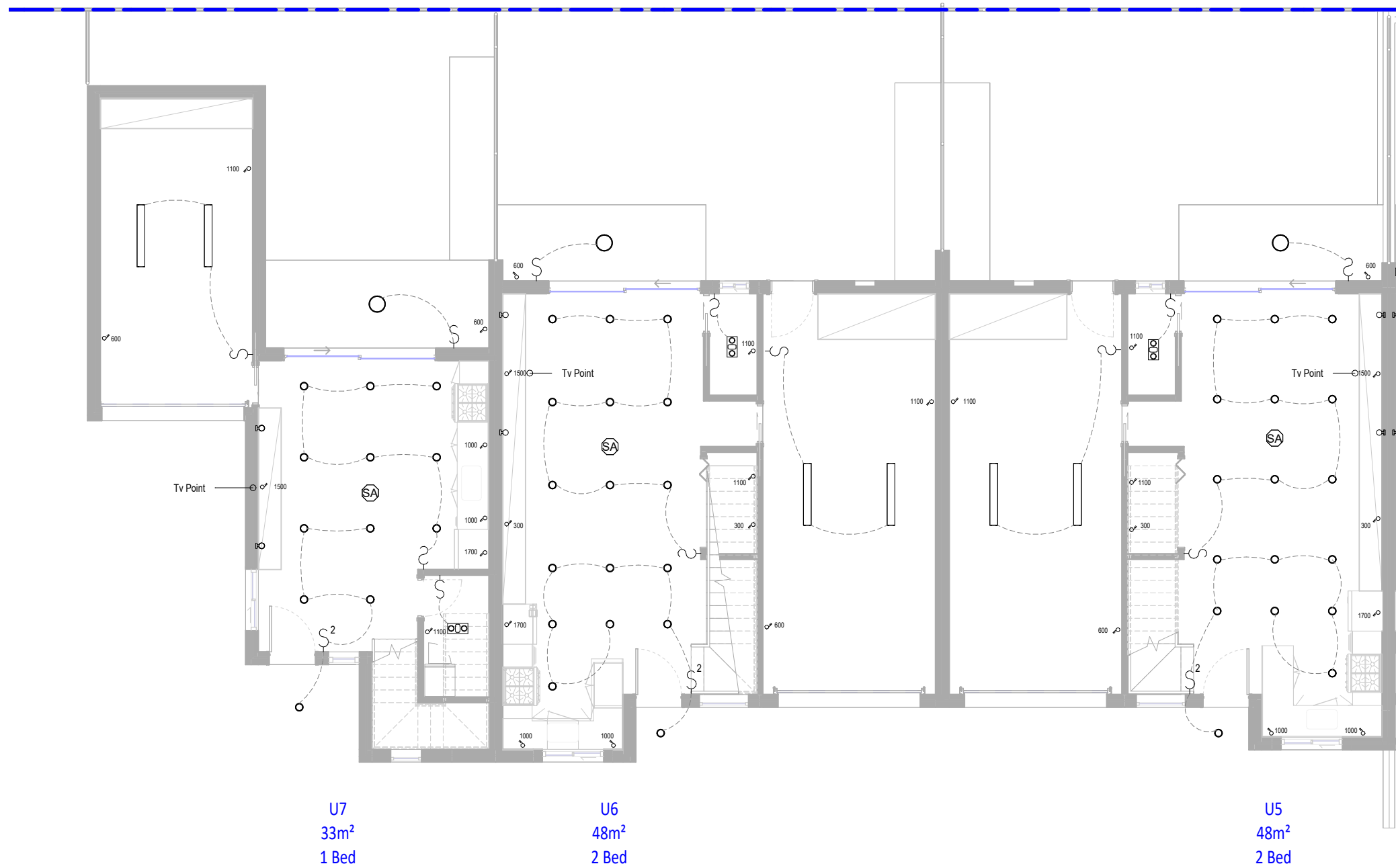
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

CRETE-TECH
DESIGN & CONSTRUCT
CONCEPT TO REALITY

CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1 **A- GFL U5-7 Electrical & Lighting Plan**
1 : 100

Electrical Plan Legend:

- Wall Switch
- GPO
- LED Downlight
- LED Wall Light
- LED, Heater, Fan Exhaust
- Batten Light
- Smoke Alarm

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: GFL U5-7 Electrical & Lighting Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | **DP:13864**
COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025



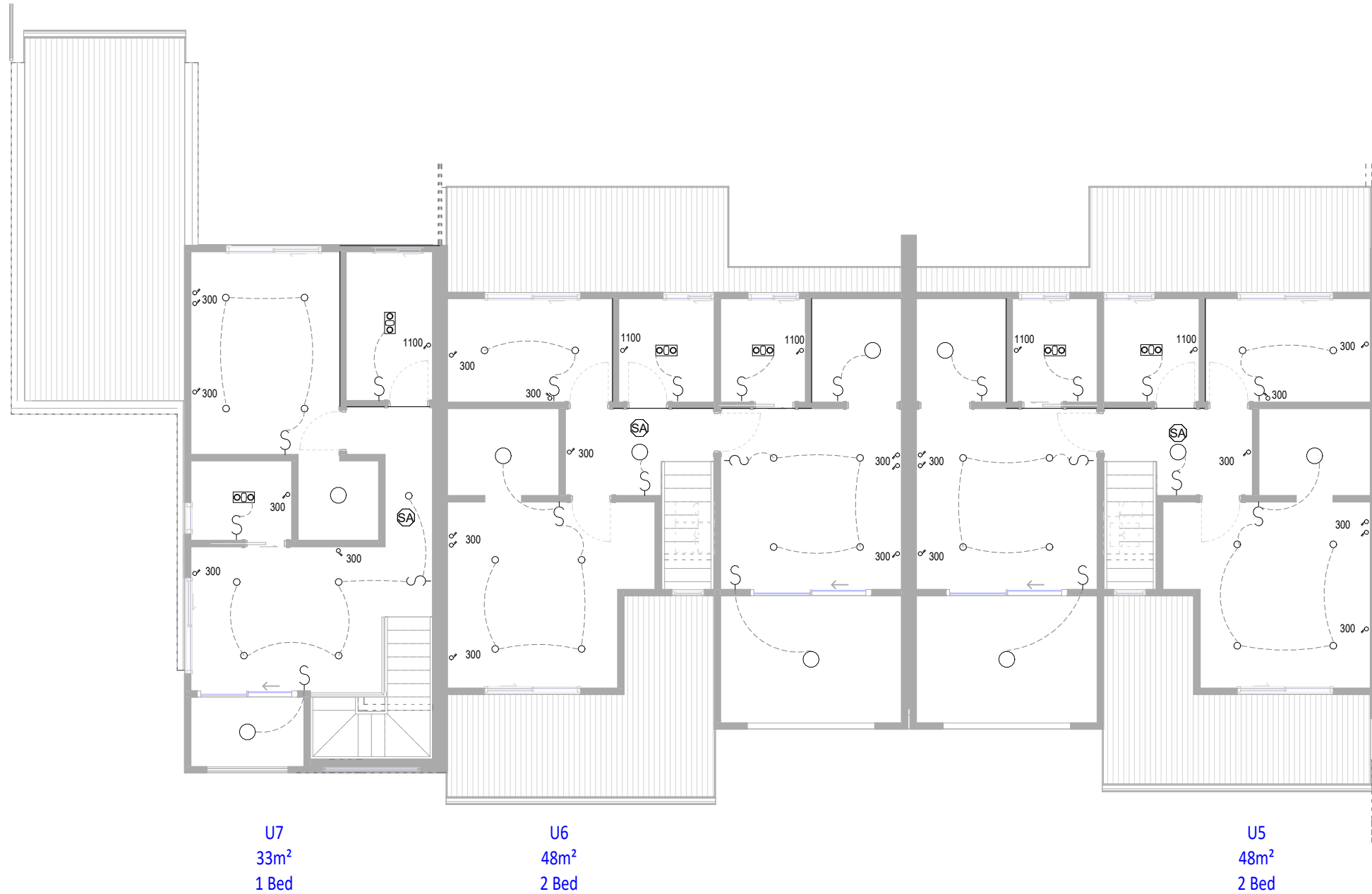
CRETE-TECH
DESIGN & CONSTRUCT



CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511



1

A- FF U5-7 Electrical & Lighting Plan

1 : 100

Electrical Plan Legend:

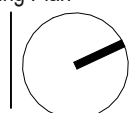
- Wall Switch
- GPO
- LED Downlight
- LED Wall Light
- LED, Heater, Fan Exhaust
- Batten Light
- Smoke Alarm

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which they were commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: FF U5-7 Electrical & Lighting Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | **DP:13864**
COUNCIL AREA : Liverpool City Council



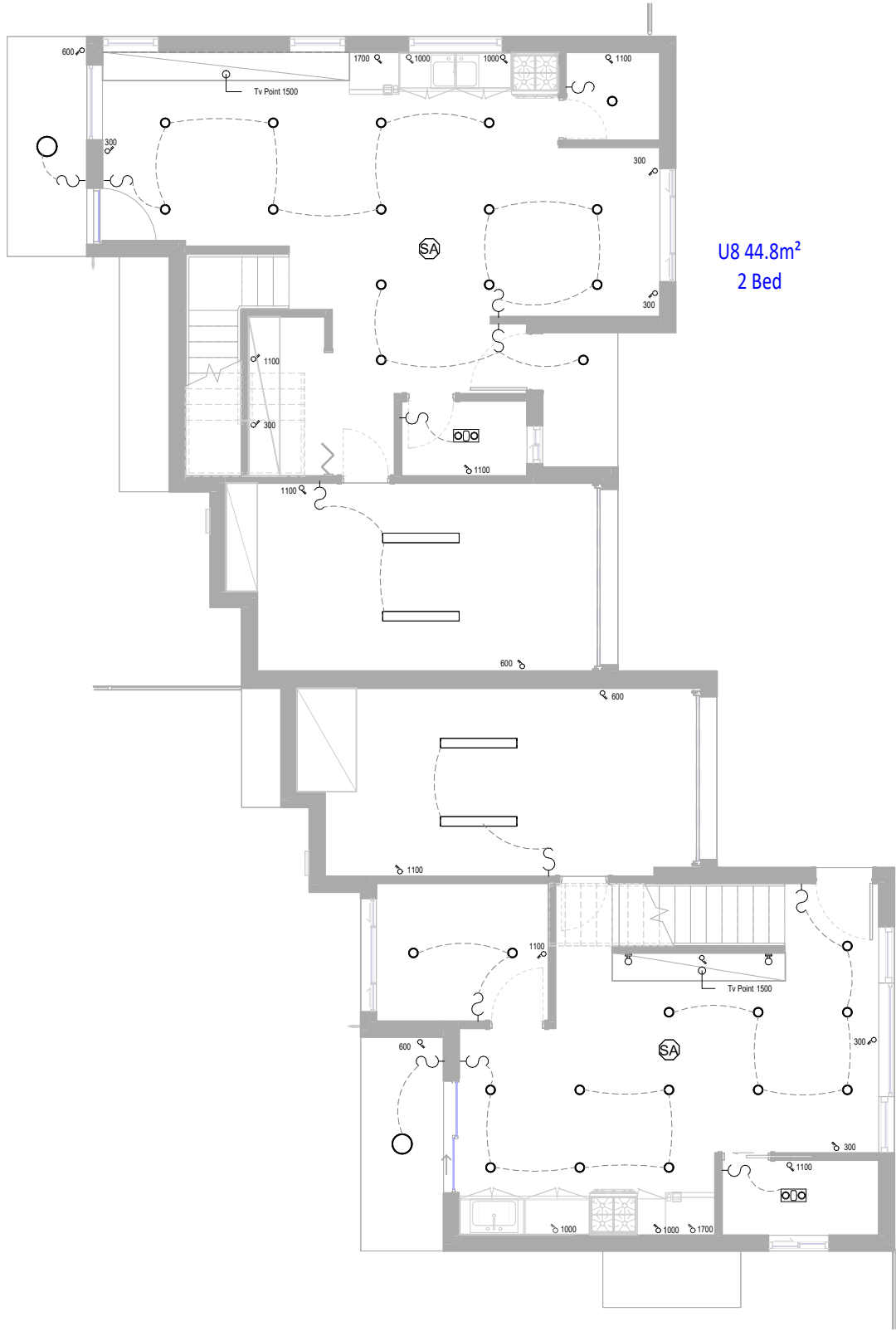
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 100
DATE: March 2025

REV: 1
SHEET NO: A15.3



4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511

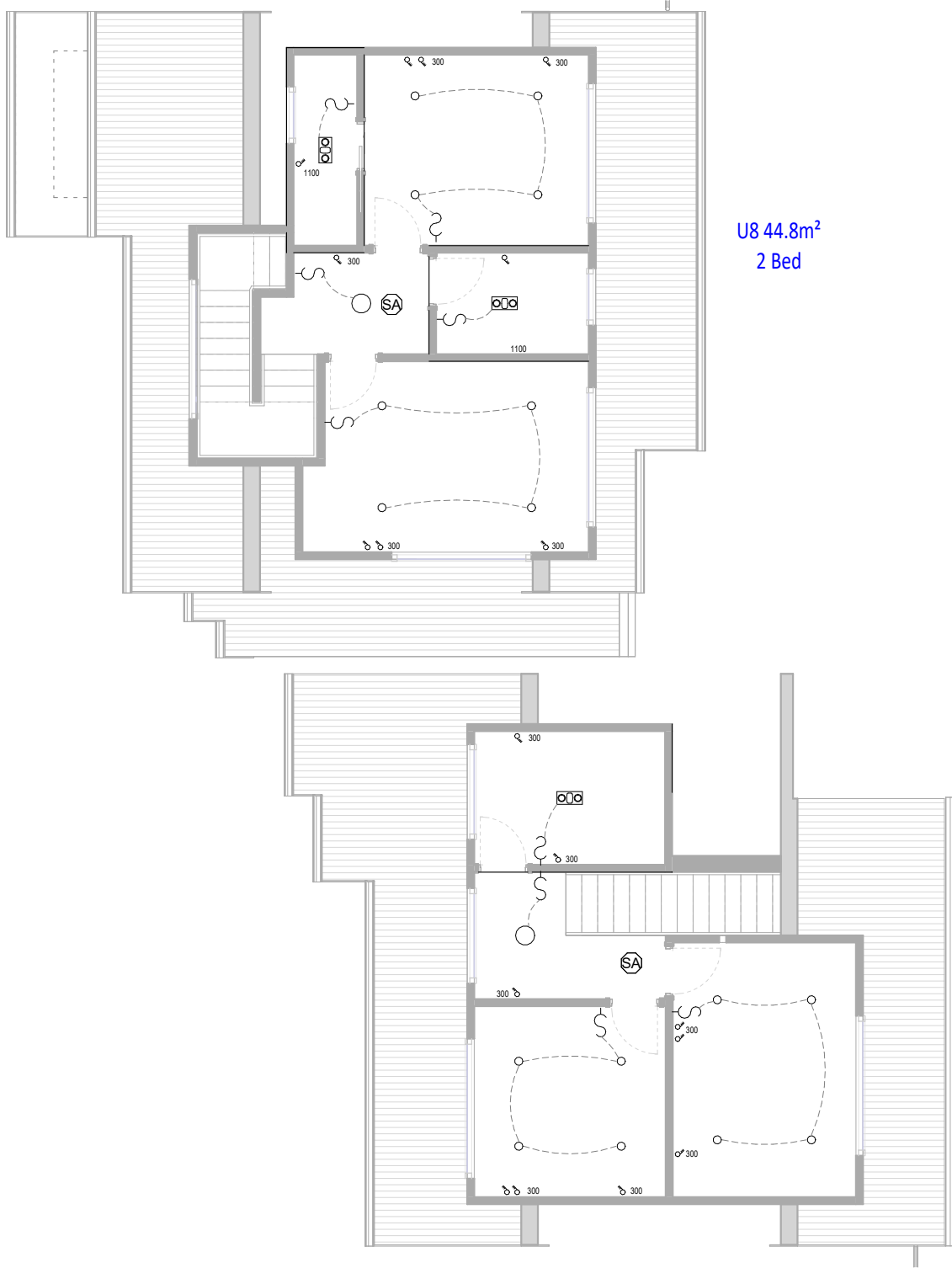


U8 44.8m²
2 Bed

U9 ARH
43m²
2 Bed

A- GFL U8-9 Electrical & Lighting Plan

1 : 100



U8 44.8m²
2 Bed

U9 ARH
43m²
2 Bed

A- FF U8-9 Electrical & Lighting Plan

1 : 100

Electrical Plan Legend:

- Wall Switch
- GPO
- LED Downlight
- LED Wall Light
- LED, Heater, Fan Exhaust
- Batten Light
- Smoke Alarm

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: U8&9 Electrical & Lighting Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | **DP:13864**
COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses

SCALE: 1 : 100

DATE: March 2025

REV: 1

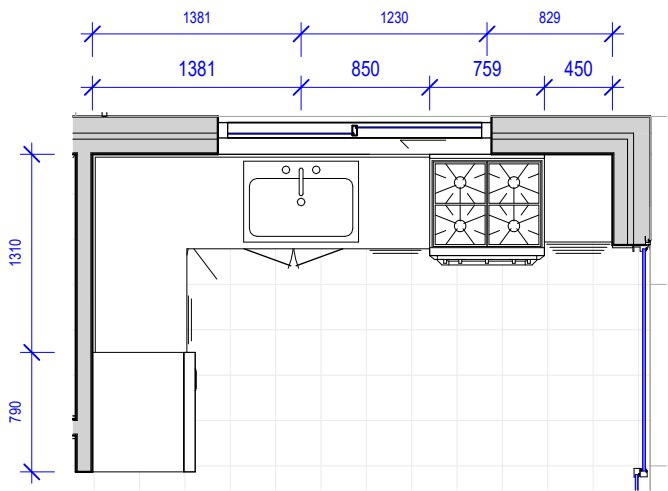
SHEET NO: A15.4

CRETE-TECH
DESIGN & CONSTRUCT
CONCEPT TO REALITY

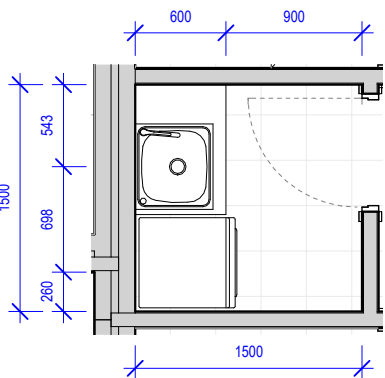
CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

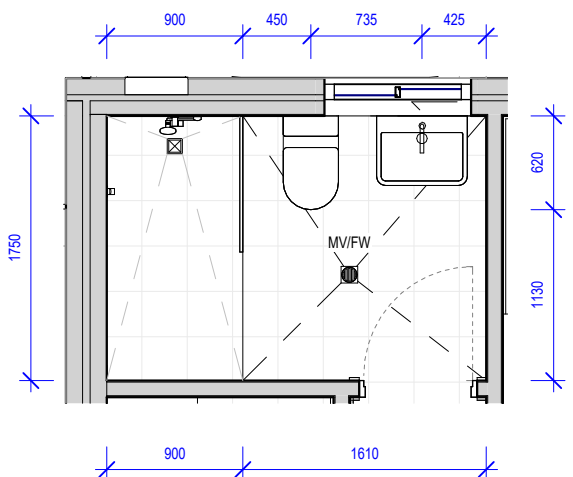
PROJECT NO: C2511



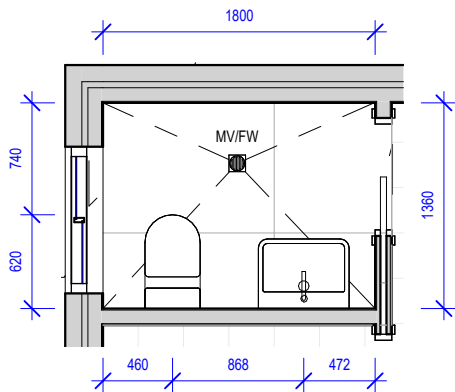
1 **A- U1 GFL KITCHEN**
1 : 50



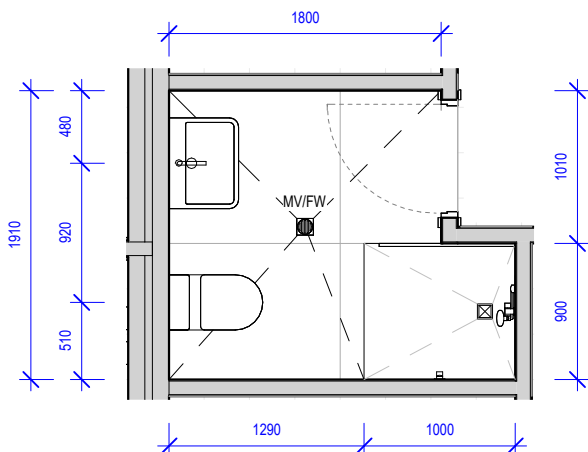
2 **A- U1 GFL LDRY**
1 : 50



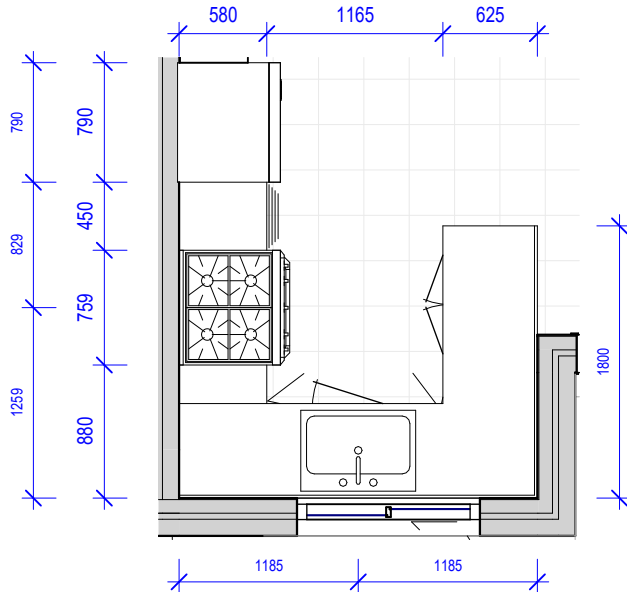
3 **A- U1 GFL WC**
1 : 50



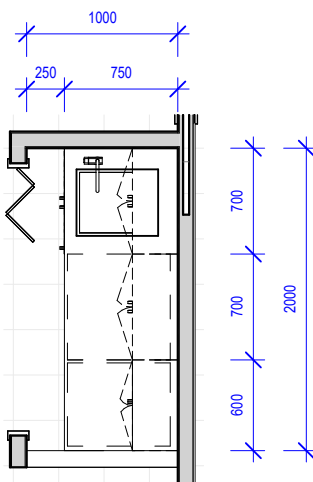
4 **A- U1 FFL ENS**
1 : 50



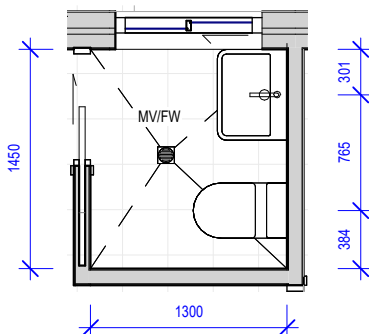
5 **A- U1 FFL BATH**
1 : 50



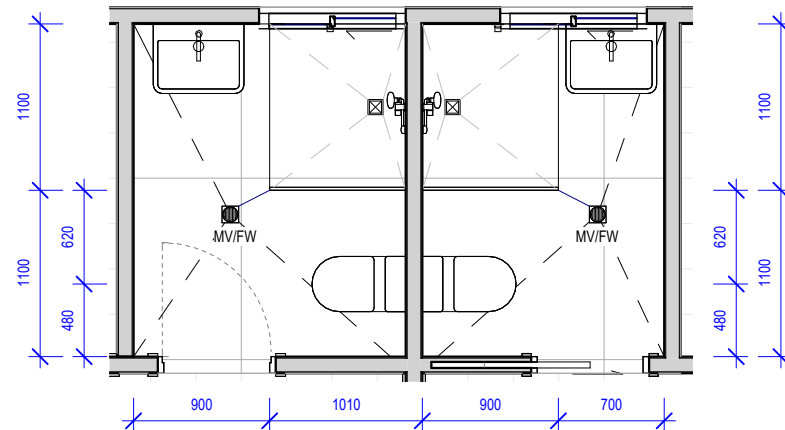
6 **A- U2 GFL KITCHEN**
1 : 50



7 **A- U2 GFL LDRY**
1 : 50



8 **A- U2 GFL WC**
1 : 50



9 **A- U2 FFL BATH/ENS**
1 : 50

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Wet Area Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

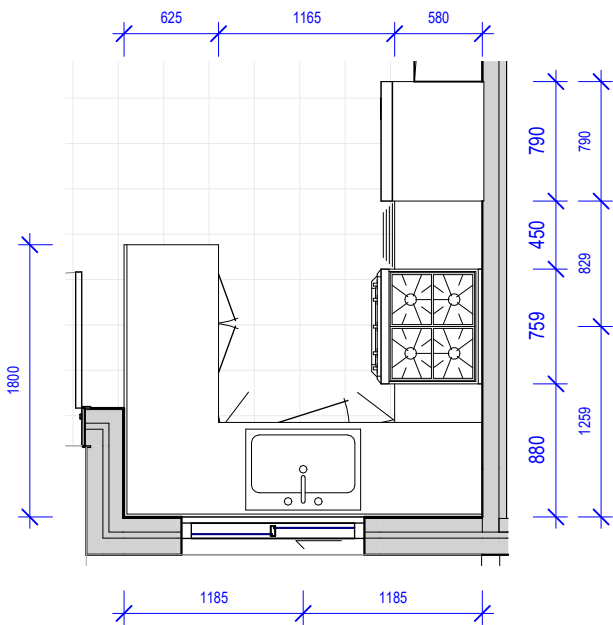
SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 50
DATE: March 2025

REV: 1 SHEET NO: A16

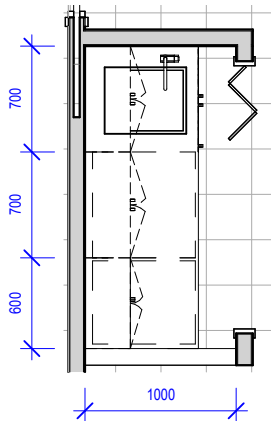


4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

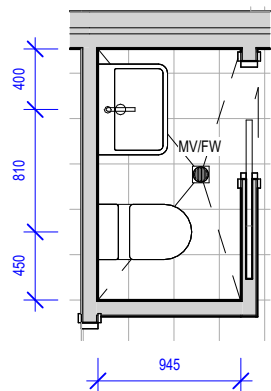
PROJECT NO: C2511



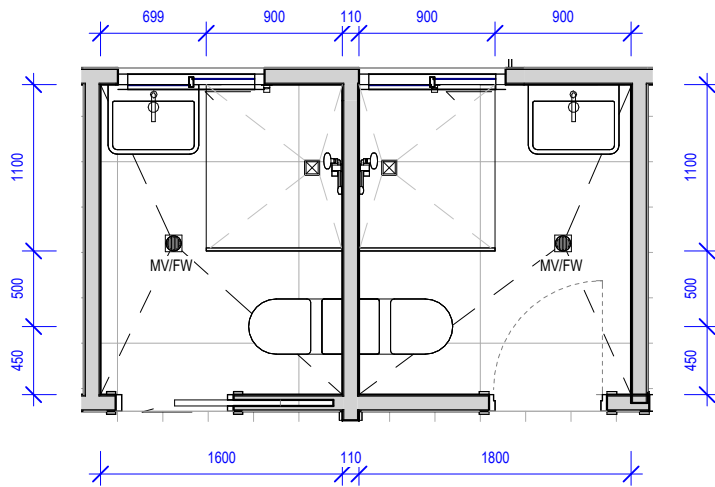
1 A- U3 GFL KITCHEN
1 : 50



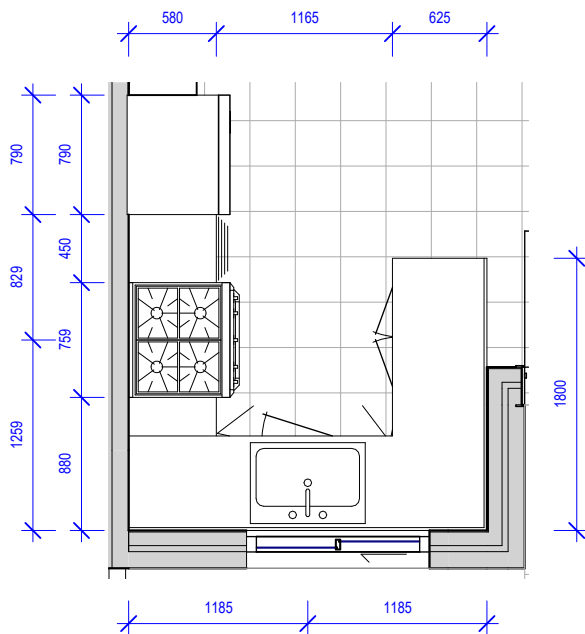
2 A- U3 GFL LDRY
1 : 50



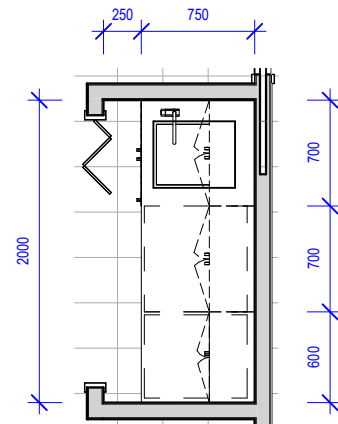
3 A- U3 GFL WC
1 : 50



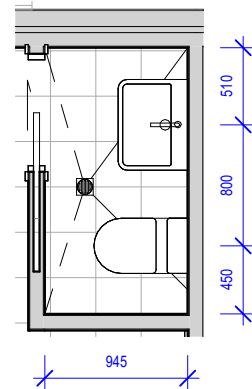
4 A- U3 FFL ENS/BATH
1 : 50



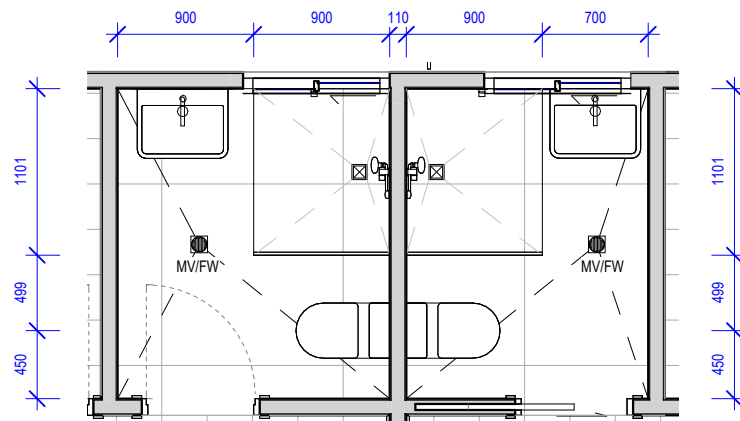
5 A- U4 GFL KITCHEN
1 : 50



6 A- U4 GFL LDRY
1 : 50



7 A- U4 GFL WC
1 : 50



8 A- U4 FFL BATH/ENS
1 : 50

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

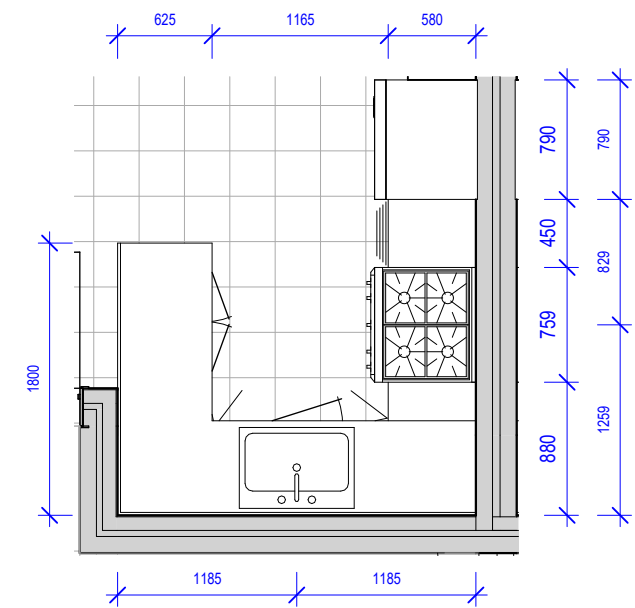
DRAWING TITLE: Wet Area Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 50
DATE: March 2025

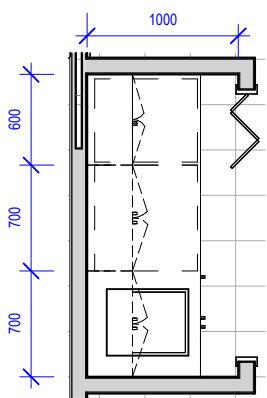
REV: 1 SHEET NO: A16.1

CRETE-TECH
DESIGN & CONSTRUCT
CONCEPT TO REALITY
CEDAR
4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

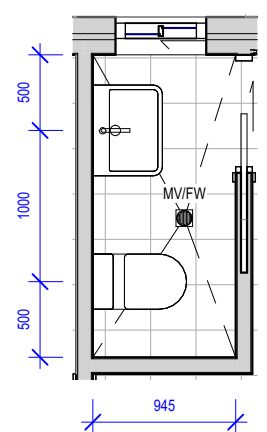
PROJECT NO: C2511



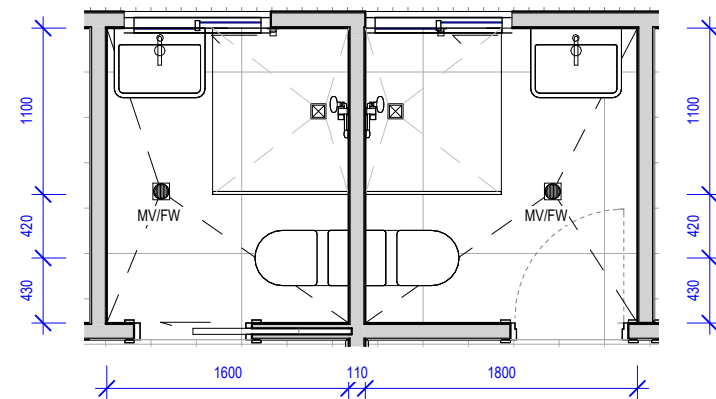
1 **A- U5 GFL KITCHEN**
1 : 50



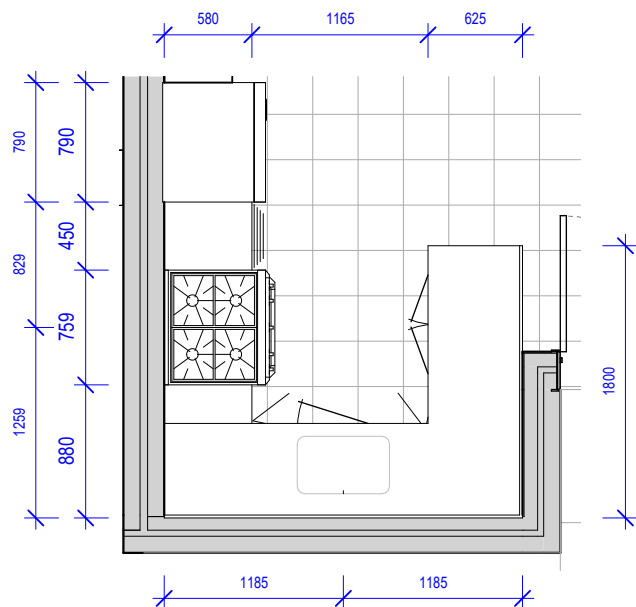
2 **A- U5 GFL LDRY**
1 : 50



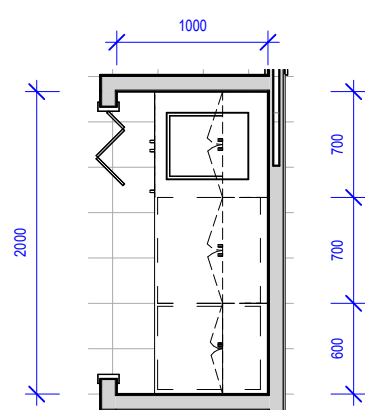
3 **A- U5 GFL WC**
1 : 50



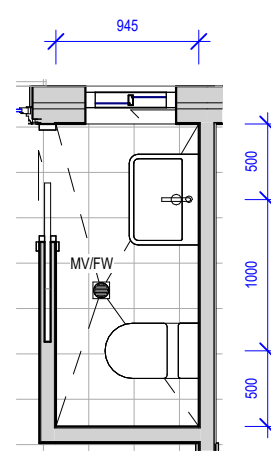
4 **A- U5 FFL BATH/ENS**
1 : 50



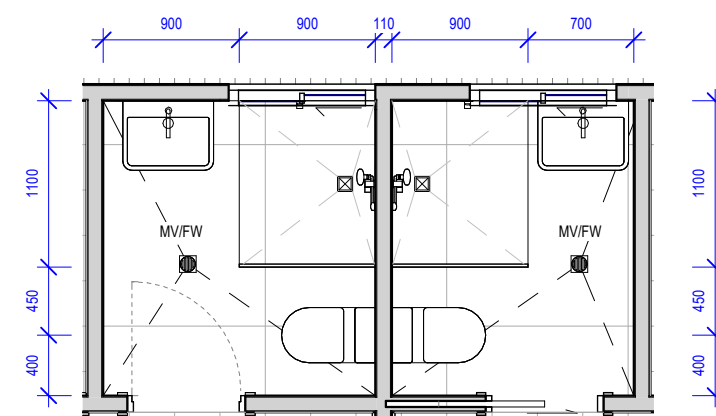
5 **A- U6 GFL KITCHEN**
1 : 50



6 **A- U6 GFL LDRY**
1 : 50



7 **A- U6 GFL WC**
1 : 50



8 **A- U6 FFL BATH/ENS**
1 : 50

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Wet Area Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 50
DATE: March 2025

REV: 1

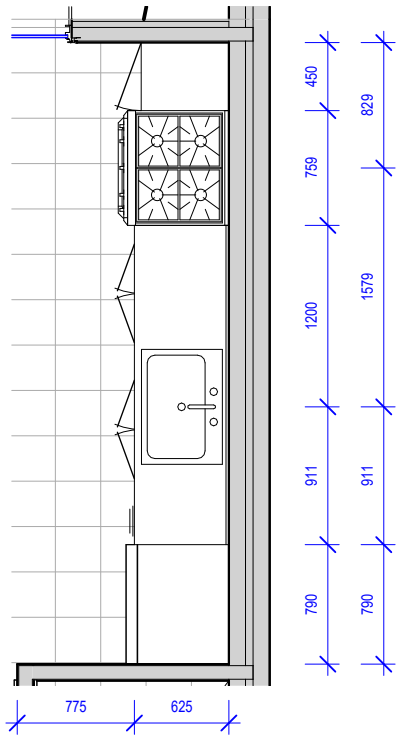
SHEET NO: A16.2

CRETE-TECH
DESIGN & CONSTRUCT
CONCEPT TO REALITY

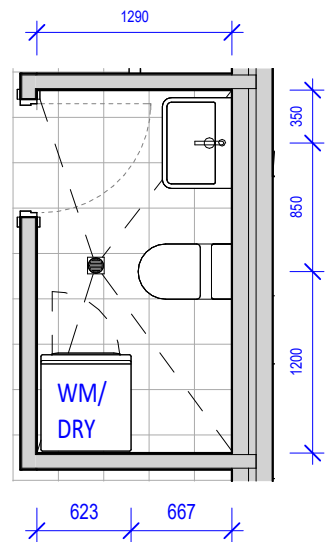
CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

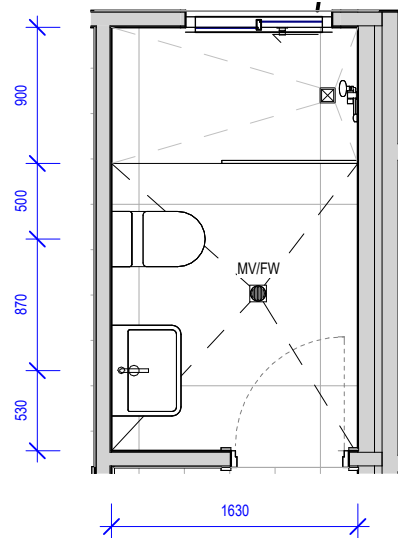
PROJECT NO: C2511



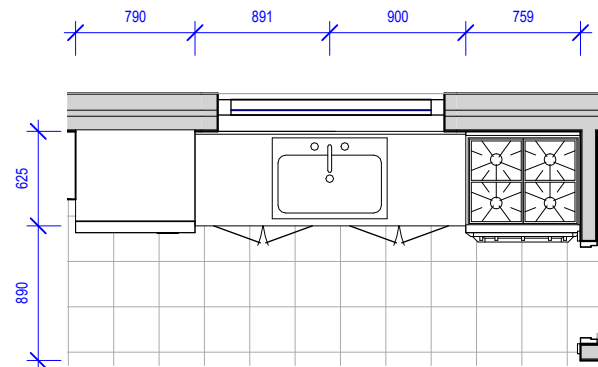
1 A- U7 GFL KITCHEN
1 : 50



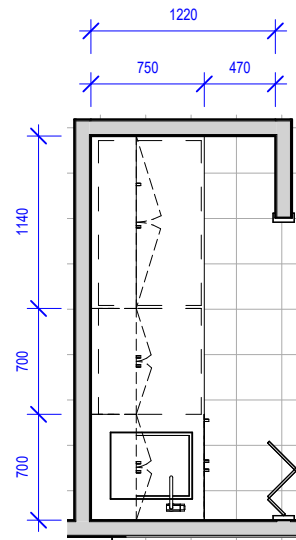
2 A- U7 GFL WC & LDry
1 : 50



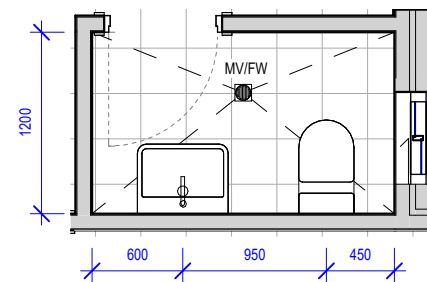
3 A- U7 FFL BATH
1 : 50



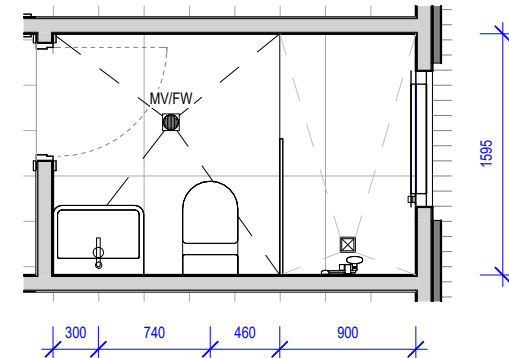
4 A- U8 GFL KITCHEN
1 : 50



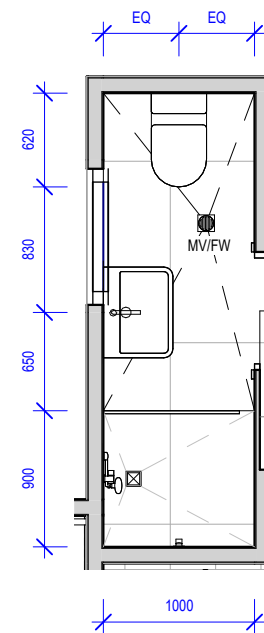
5 A- U8 GFL LDry
1 : 50



6 A- U8 GFL WC
1 : 50



7 A- U8 FFL BATH
1 : 50



8 A- U8 FFL ENS
1 : 50

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

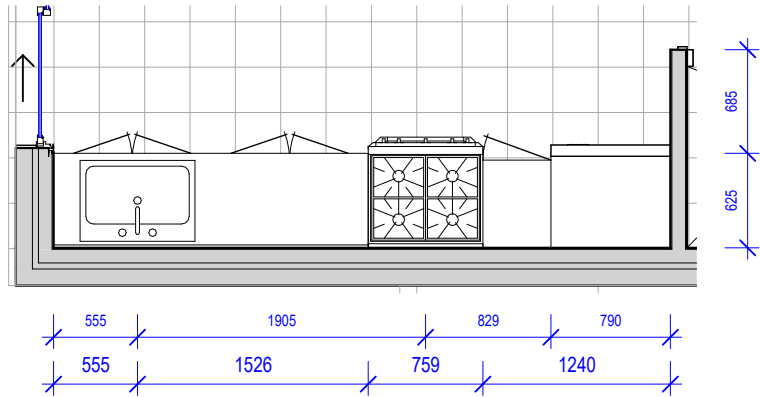
DRAWING TITLE: Wet Area Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council

SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 50
DATE: March 2025

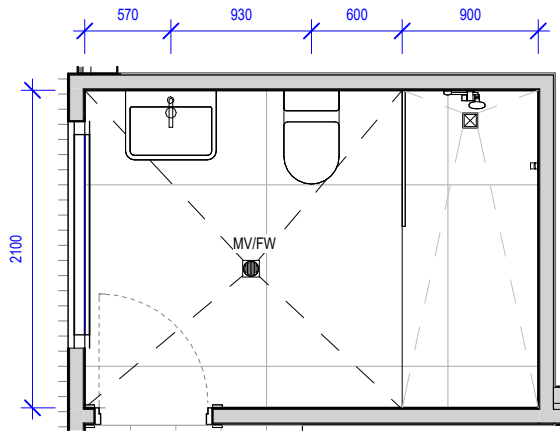
REV: 1 SHEET NO: A16.3

CRETE-TECH
DESIGN & CONSTRUCT
CONCEPT TO REALITY
CEDAR
4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

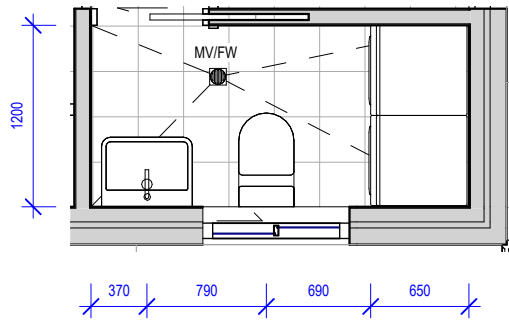
PROJECT NO: C2511



1 A- U9 GFL KITCHEN
1 : 50



3 A- U9 FFL BATH
1 : 50



2 A- U9 GFL WC/LDRY
1 : 50

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Wet Area Plan
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | **DP:**13864
COUNCIL AREA : Liverpool City Council

SITE ADDRESS:8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: 1 : 50
DATE: March 2025

REV: 1
SHEET NO: A16.4



CRETE-TECH
DESIGN & CONSTRUCT

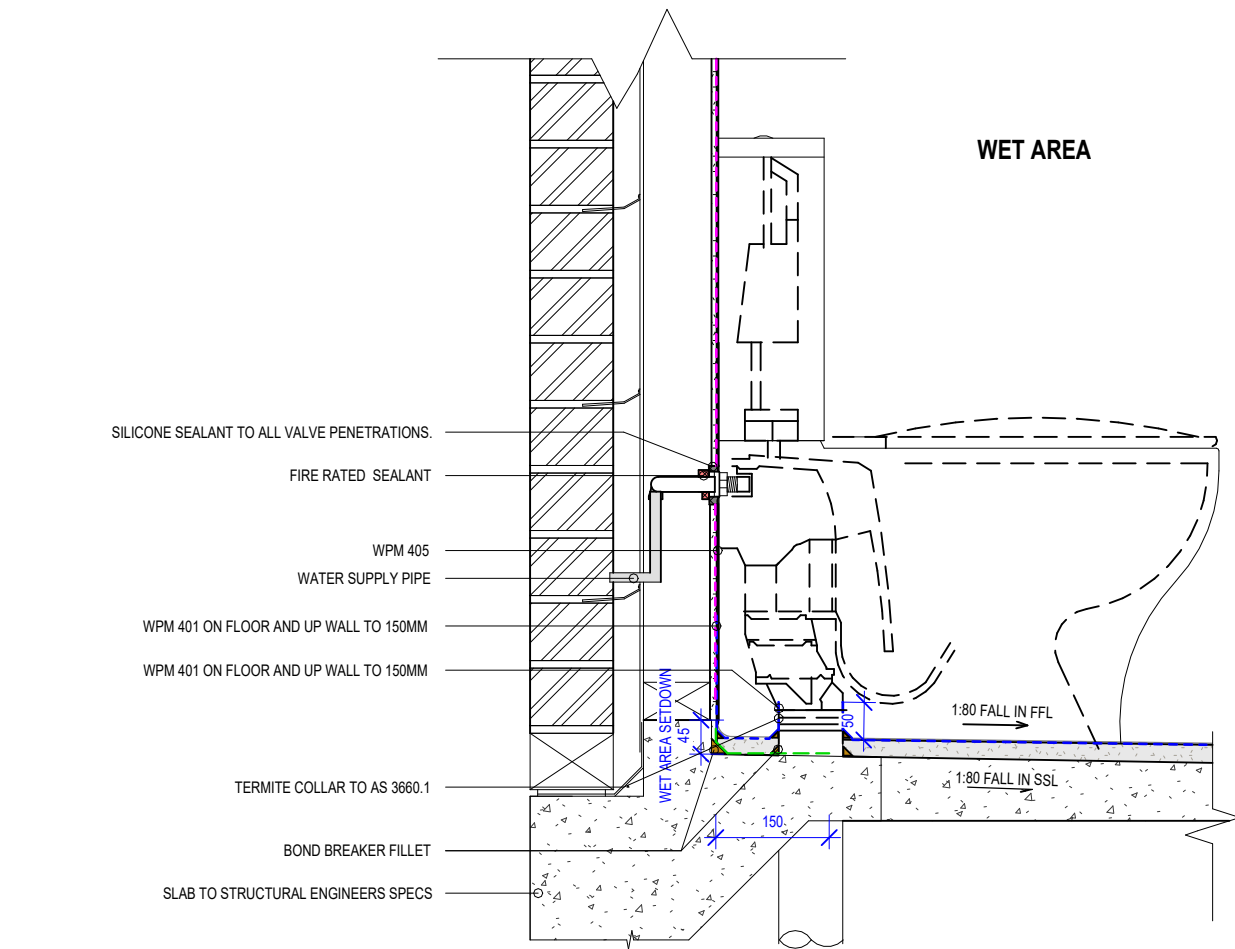


CEDAR
DESIGN & CONSTRUCT
CONCEPT TO REALITY

4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

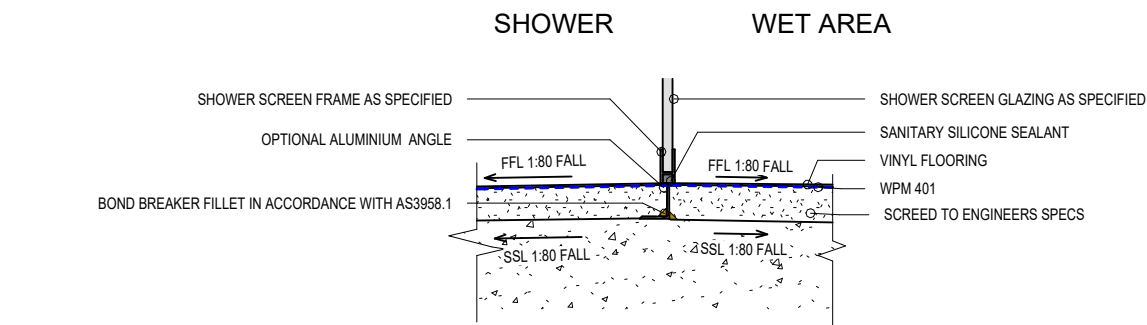


PROJECT NO: C2511



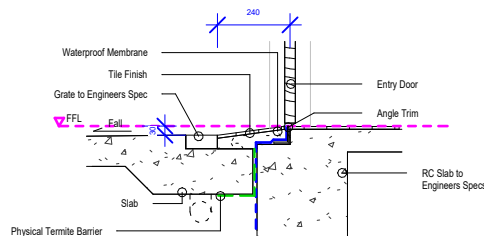
1 Wet Area Detail - Toilet

1 : 10



2 Shower Screen Threshold

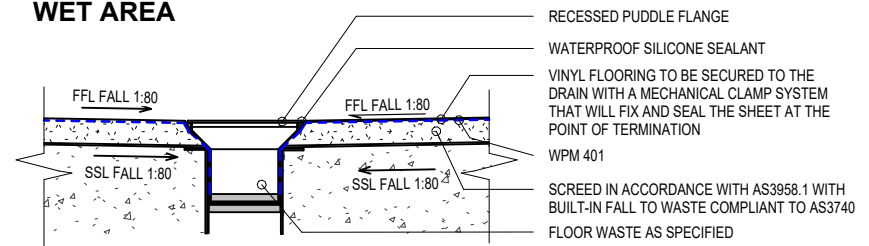
1 : 10



3 External To Internal Threshold Detail

1 : 25

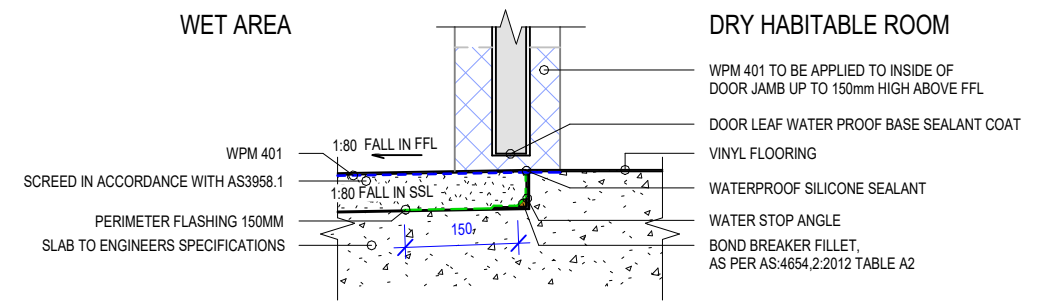
WET AREA



4

Typical Bathroom & L'Dry Floor Waste

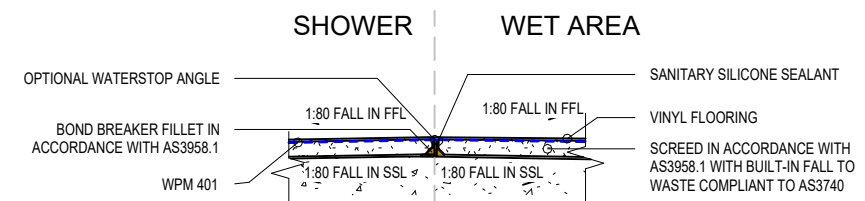
1 : 10



5

Typical Wet to Dry Threshold

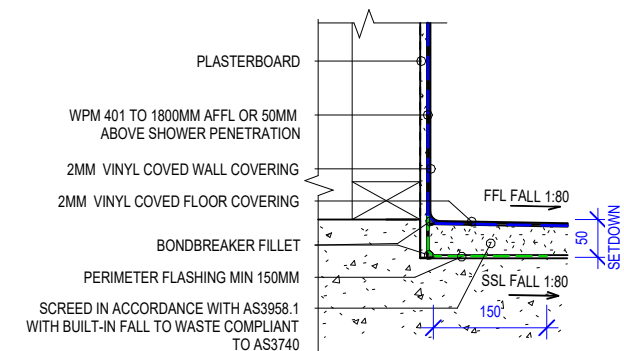
1 : 10



6

Typical Shower to Wet Threshold Detail

1 : 10



7

Shower Wall Floor Junction

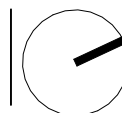
1 : 10

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Construction Details
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: As indicated
DATE: March 2025

REV: 1

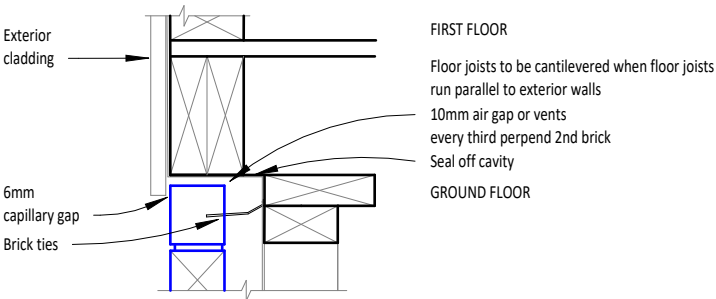
SHEET NO: A17



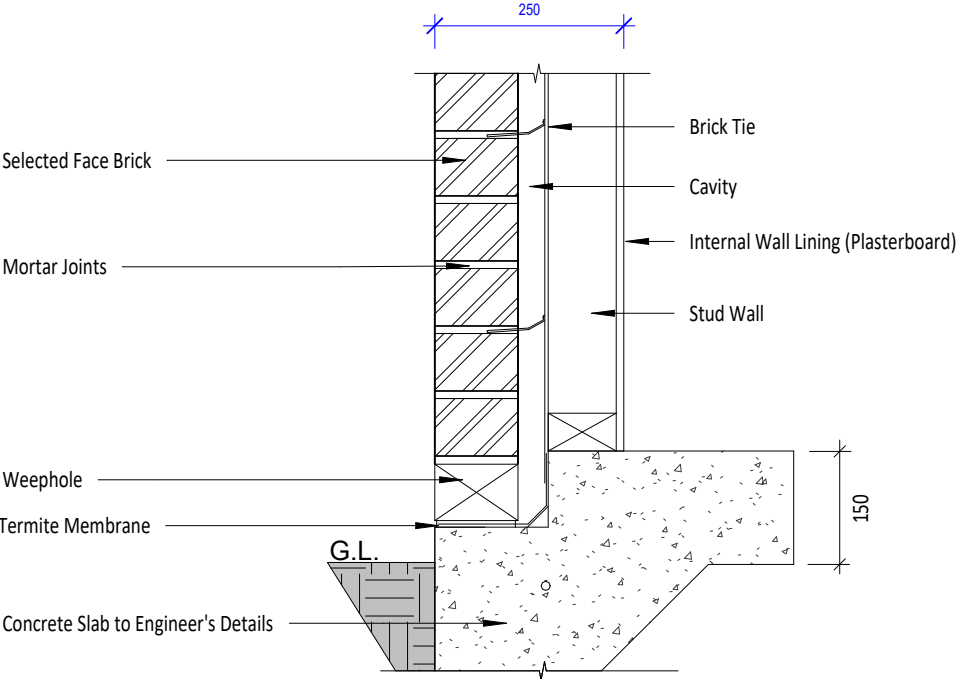
4/83-85 North Tce,
Bankstown NSW 2200
www.cedardesign.com.au
info@cedardesign.com.au
Phone: 0422 704 479
A.B.N: 87 616 143 661
Reg #: 2125/16

PROJECT NO: C2511

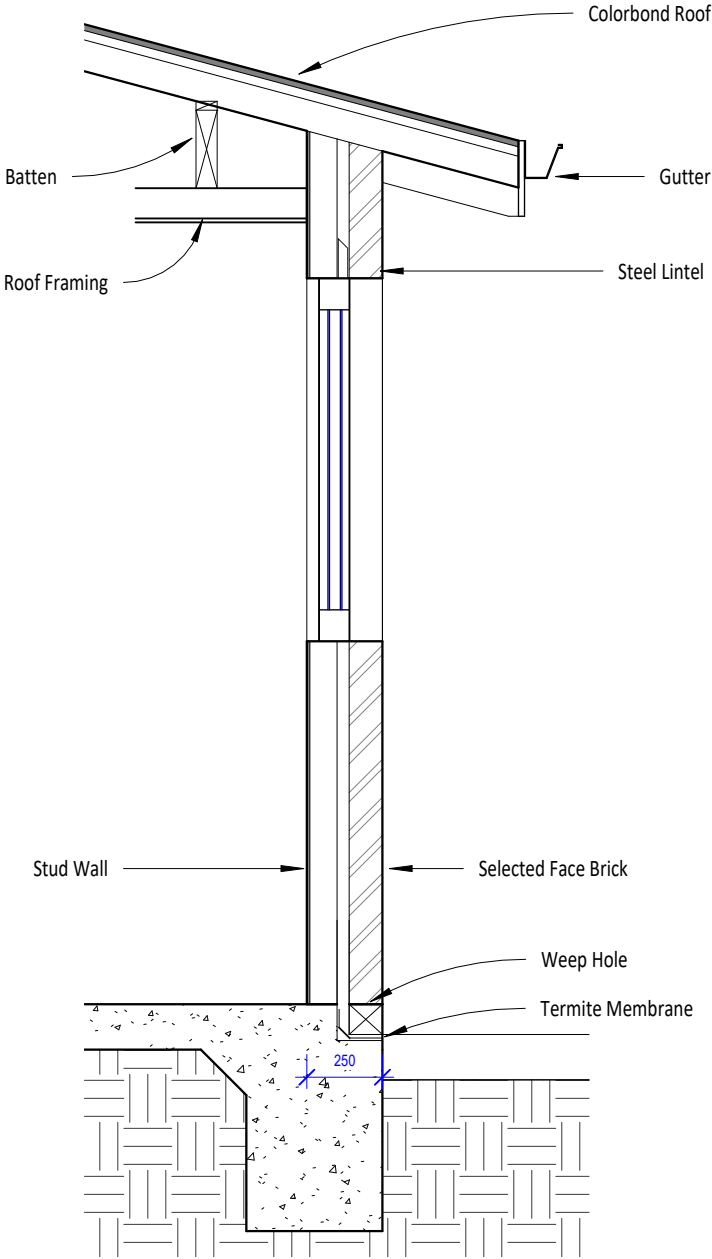
TWO STOREY
Ground Floor Veneer



1 Typical Ground Floor Veneer Detail
1 : 10



2 Typical Veneer Construction Wall Detail
1 : 10



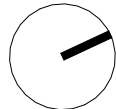
3 Wall Detail
1 : 25

NOTE:
* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.
* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.
* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.
* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards.
* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.
* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
1	25.03.15	CC Submission	Khaled

DRAWING TITLE: Construction Details
DRAWN BY: K.Kabbout
CHECKED BY: M.Shafie
LOT: 11 | SEC: | DP:13864
COUNCIL AREA : Liverpool City Council



SITE ADDRESS: 8 Lang Rd, Casula
CLIENT: Mr Fahda
ISSUED FOR: CC
PROJECT TYPE: Townhouses
SCALE: As indicated
DATE: March 2025

REV: 1
SHEET NO: A17.1



PROJECT NO: C2511